

DEC 30 2002

\$126.00 DEED

Li-37212 Pa-545
203001173 12/30/2002
Bernard J. Youngblood
Wayne Co. Register of Deeds

\$4.00 RECONUMENTATION
Receipt #167521

RECORDED
BERNARD J. YOUNGBLOOD, REGISTER OF DEED
WAYNE COUNTY, MI

RECEIVED

MAR 26 2003

**SECOND AMENDMENT OF MASTER DEED
[REPLAT NO. 2]
CHERRY HILL VILLAGE II**

A TRADITIONAL NEIGHBORHOOD DEVELOPMENT

**WAYNE COUNTY CONDOMINIUM
SUBDIVISION PLAN NO. 591**

THIS SECOND AMENDMENT OF MASTER DEED AND REPLAT NO. 2 ("Second Amendment") is made and executed this 27th day of December, 2002, by **CHERRY HILL INVESTORS LLC**, a Michigan limited liability company (hereinafter referred to as "(Developer)"), whose address is 2025 West Long Lake Road, Suite 104, Troy, Michigan 48084.

WITNESSETH:

WHEREAS, Developer made and recorded a condominium Master Deed establishing **CHERRY HILL VILLAGE II** (the "Condominium") as Wayne County Condominium Subdivision Plan No. 591 situated in the Township of Canton, which Master Deed was recorded on January 22, 2001, in Liber 33044, Pages 1355 through 1419, inclusive, Wayne County Records, as amended by First Amendment of Master Deed recorded on February 14, 2002, in Liber 35377, Pages 24 through 70, inclusive, Wayne County Records (collectively referred to herein as the "Master Deed"); and

WHEREAS, Developer declared in the Master Deed, the right, without the consent of any other person, to expand the size of the Condominium to include all or part of the Additional Land, and by this Second Amendment Developer intends to add to the Condominium certain Units and Additional Land, and to revise the description of the Property included in the Condominium; and

WHEREAS, by this Second Amendment Developer intends to increase the number of Units in the Condominium by adding 91 Units to the Condominium, which Units are designated as Units 96 through 186.

NOW, THEREFORE, Developer hereby amends the Master Deed as follows:

This is to certify that there are no tax liens or titles on the property and that taxes are paid for five years previous to date of recording. Not Examined 2002.
No. 5015 Date 12-30-2002
WAYNE COUNTY TREASURER Clerk [Signature]

EXAMINED AND APPROVED
DATE DEC 27 2002
BY [Signature]
DANIEL P. LANE
PLAT ENGINEER

12-30-2002 22015015

DEED 5

MNA 12h UP 40 PPA A L

71 073 99 8009 000
71 074 99 0001 002
71 073 99 8005 002

1. The Condominium Subdivision Plan, Exhibit B to the Master Deed, is amended by Replat No. 2 of Condominium Subdivision Plan No. 591 attached to this Second Amendment, and consisting of Sheets 1, 2, 3, 7A, 7B, 7C, 9A, 9B, 9C, and 36 through 56 inclusive.

2. Article II of the Master Deed, which describes the land comprising the Condominium, is amended in its entirety as follows:

**CHERRY HILL VILLAGE II
REPLAT NO. 2
EXISTING PARCEL**

PART OF THE NE ¼ AND NW ¼ OF SECTION 19, T.2S, R.8E.,
CANTON TOWNSHIP, WAYNE COUNTY, MICHIGAN, BEING
MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH ¼ CORNER OF SECTION 19, T.2S., R.8E., CANTON TOWNSHIP, WAYNE COUNTY, MICHIGAN S.89°37'51"W., 196.40'; THENCE S.00°17'49"E., 50.25'; THENCE S.00°15'48"E., 123.50'; THENCE N.89°37'51"E., 48.32'; THENCE S.00°30'37"E., 76.60' TO THE POINT OF BEGINNING, THENCE S.00°30'37"E., 95.50'; TO A POINT HEREINAFTER REFERRED TO AS POINT "B"; THENCE ALONG A NON-TANGENT CURVE TO THE LEFT, RADIUS 61.00', CENTRAL ANGLE 72°25'06" (THE CHORD OF SAID CURVE BEARS S.35°41'56"W., 72.07') A DISTANCE OF 77.10'; THENCE S.00°30'37"E., 135.99', TO A POINT HEREINAFTER REFERRED TO AS POINT "C"; THENCE S.89°29'23"W., 100.00', TO A POINT HEREINAFTER REFERRED TO AS POINT "D"; THENCE N.00°30'37"W., 197.02'; N.33°37'03"E., 101.81'; THENCE ALONG A TANGENT CURVE TO THE RIGHT, RADIUS 19.00', CENTRAL ANGLE 55°52'20" (THE CHORD OF SAID CURVE BEARS N.61°33'13"E., 17.80') A DISTANCE OF 18.53', THENCE N.89°29'23"E., 69.73', TO THE POINT OF BEGINNING. (FORMERLY KNOWN AS UNITS 2 AND 3).

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE DEFINED AS POINT "C"; THENCE S.00°30'37"E., 140.00'; THENCE S.14°18'08"E., 115.87'; THENCE S.06°42'54"E., 369.73'; THENCE S.10°53'13"E., 50.98'; TO A POINT HEREINAFTER REFERRED TO AS POINT "E", ALSO BEING THE POINT OF BEGINNING; THENCE S.02°14'51"E., 227.64', TO A POINT HEREINAFTER REFERRED TO AS POINT "F"; THENCE S.87°45'09"W., 105.00'; THENCE N.02°14'51"W., 95.05'; THENCE ALONG A TANGENT CURVE TO THE LEFT, RADIUS 39.00';

CENTRAL ANGLE $87^{\circ}23'38''$ (THE CHORD OF SAID CURVE BEARS $N.45^{\circ}56'41''W.$, 53.89') A DISTANCE OF 59.49'; THENCE $N.89^{\circ}38'30''W.$, 32.18'; THENCE $N.00^{\circ}21'30''E.$, 100.00'; THENCE $S.89^{\circ}38'30''E.$, 170.01', TO THE POINT OF BEGINNING. (FORMERLY KNOWN AS UNIT 29).

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE DEFINED AS POINT "D", THENCE $N.17^{\circ}23'01''W.$, 68.90'; THENCE $S.00^{\circ}30'37''E.$, 190.93'; THENCE ALONG A TANGENT CURVE TO THE LEFT, RADIUS 40.00', CENTRAL ANGLE $45^{\circ}31'24''$, (THE CHORD OF SAID CURVE BEARS $S.23^{\circ}16'20''E.$, 30.95'), A DISTANCE OF 31.78'; THENCE $S.43^{\circ}18'07''W.$, 14.61'; THENCE $S.89^{\circ}55'58''W.$, 106.86'; THENCE $N.00^{\circ}30'37''W.$, 230.00' THENCE $N.89^{\circ}55'58''E.$, 105.00', TO THE POINT OF BEGINNING. (FORMERLY KNOWN AS UNIT 7 AND FORMER OPEN SPACE).

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE DEFINED AS POINT "E", THENCE $S.89^{\circ}38'30''E.$, 55.06', TO THE POINT OF BEGINNING; THENCE $S.89^{\circ}38'30''E.$, 94.99', TO A POINT HEREINAFTER REFERRED TO AS POINT "G"; THENCE $S.08^{\circ}33'52''E.$, 122.03'; THENCE $S.04^{\circ}09'15''E.$, 83.61'; THENCE ALONG A TANGENT CURVE TO THE RIGHT, RADIUS 120.00', CENTRAL ANGLE $14^{\circ}55'59''$ (THE CHORD OF SAID CURVE BEARS $S.03^{\circ}18'45''W.$, 31.19') A DISTANCE OF 31.28'; THENCE ALONG A TANGENT CURVE TO THE LEFT, RADIUS 120.00', CENTRAL ANGLE $14^{\circ}47'46''$ (THE CHORD OF SAID CURVE BEARS $S.03^{\circ}22'51''W.$, 30.90') A DISTANCE OF 30.99'; THENCE $S.04^{\circ}01'02''E.$, 176.09'; THENCE $S.43^{\circ}23'45''E.$, 3.60'; THENCE $S.87^{\circ}45'09''W.$, 112.86'; THENCE $N.02^{\circ}14'51''W.$, 449.68', TO THE POINT OF BEGINNING. (FORMERLY KNOWN AS UNIT 41).

COMMENCING AT A POINT HERETOFORE DEFINED AS POINT "F", THENCE $S.02^{\circ}14'51''E.$, 50.00', TO THE POINT OF BEGINNING; THENCE $S.02^{\circ}14'51''E.$, 211.93'; THENCE $N.79^{\circ}11'38''W.$, 90.53'; THENCE $N.56^{\circ}55'19''W.$, 14.26'; THENCE $N.02^{\circ}14'51''W.$, 183.24'; THENCE $N.87^{\circ}45'09''E.$, 99.82', TO THE POINT OF BEGINNING. (FORMERLY KNOWN AS UNIT 39).

COMMENCING AT A POINT HERETOFORE DEFINED AS POINT "G", THENCE $S.89^{\circ}38'30''E.$, 96.88'; THENCE $S.57^{\circ}09'54''E.$, 262.25'; TO A POINT HEREINAFTER REFERRED TO AS POINT "H", ALSO BEING THE POINT OF BEGINNING; THENCE $S.57^{\circ}09'54''E.$, 259.01'; THENCE $S.34^{\circ}36'54''W.$, 94.05'; THENCE $N.57^{\circ}09'54''W.$,

73.13'; THENCE S.85°08'31"W., 46.37'; THENCE N.13°02'59"E., 15.76'; THENCE N.56°38'58"W., 150.92'; THENCE N.38°12'36"E., 106.63', TO THE POINT OF BEGINNING. (FORMERLY KNOWN AS UNITS 100 AND 101).

COMMENCING AT A POINT HERETOFORE DEFINED AS POINT "H", THENCE N.38°12'36"E., 291.28'; THENCE N.35°24'49"E., 55.06'; TO THE POINT OF BEGINNING; THENCE N.32°50'06"E., 100.00'; THENCE S.57°09'54"E., 234.24'; THENCE S.29°32'10"W., 100.17'; THENCE N.57°09'54"W., 240.00', TO THE POINT OF BEGINNING. (FORMERLY KNOWN AS UNIT 99).

CONTAINING 4.7010 ACRES AS A WHOLE

CHERRY HILL VILLAGE II
LAND BEING ADDED BY REPLAT 2

PART OF THE NE ¼ AND NW ¼ OF SECTION 19, T.2S, R.8E., CANTON TOWNSHIP, WAYNE COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

DESCRIBED AS COMMENCING AT THE NORTH ¼ CORNER OF SECTION 19, T.2S., R.8E., CANTON TOWNSHIP, WAYNE COUNTY, MICHIGAN; THENCE S.89°58'42"E., 797.50'; THENCE S.00°30'27"E., 50.00'; THENCE S89°58'42"E. 236.04'; THENCE S.00°38'57"E., 135.00', TO THE POINT OF BEGINNING; THENCE S.00°38'57"E., 100.01'; THENCE N89°58'42"W., 146.11'; TO A POINT HEREINAFTER REFERRED TO AS POINT "J"; THENCE N.00°30'37"W., 100.01', THENCE S89°58'42"E., 145.86', TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA E)

TOGETHER WITH A PARCEL COMMENCING AT A POINT HERETOFORE REFERRED TO AS POINT "J"; THENCE S.13°07'32"E., 51.35' TO THE POINT OF BEGINNING; THENCE S.00°38'57"E., 95.01', TO A POINT HEREINAFTER REFERRED TO AS POINT "K"; THENCE N.89°58'42"W., 166.93'; N.00°30'37"W., 95.00', THENCE S.89°58'42"E., 166.71', TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA F)

TOGETHER WITH A PARCEL COMMENCING AT A POINT HERETOFORE REFERRED TO AS POINT "K"; THENCE S.00°38'57"E., 20.00', TO THE POINT OF BEGINNING; THENCE S.00°38'57"E., 288.05'; THENCE S.89°21'03"W., 95.00', TO A POINT HEREINAFTER REFERRED TO AS POINT "L"; THENCE N.00°38'57"W., 269.93'; THENCE ALONG A TANGENT CURVE TO

THE RIGHT, RADIUS 19.00', CENTRAL ANGLE 90°40'15", (THE CHORD OF SAID CURVE BEARS N.44°41'10"E., 27.03') A DISTANCE OF 30.07'; THENCE S.89°58'42"E., 75.78'; TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA G)

TOGETHER WITH A PARCEL COMMENCING AT A POINT HERETOFORE REFERRED TO AS POINT "L"; THENCE S.89°21'03"W., 20.00', TO THE POINT OF BEGINNING; THENCE S.89°21'03"W., 67.00'; THENCE ALONG A TANGENT CURVE TO THE LEFT, RADIUS 85.00', CENTRAL ANGLE 30°23'27", (THE CHORD OF SAID CURVE BEARS S.74°09'19"W., 44.56') A DISTANCE OF 45.09'; THENCE N.00°38'57"W., 307.36', TO A POINT HEREINAFTER REFERRED TO AS POINT "M"; THENCE S.85°03'48"E., 58.36'; THENCE S.89°58'42"E., 33.14'; THENCE ALONG A TANGENT CURVE TO THE RIGHT, RADIUS 19.00', CENTRAL ANGLE 89°19'44", (THE CHORD OF SAID CURVE BEARS S45°18'49"E., 26.71') A DISTANCE OF 29.62'; THENCE S.00°38'57"E., 270.61', TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA H)

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE REFERRED TO AS POINT "L"; THENCE S.19°03'18"W., 53.11'; TO THE POINT OF BEGINNING; THENCE S.00°27'16"W., 156.46'; THENCE N.81°29'03"W., 83.27'; THENCE N.64°59'37"W., 39.00'; THENCE ALONG A NON-TANGENT CURVE TO THE LEFT, RADIUS 225.00', CENTRAL ANGLE 23°32'26", (THE CHORD OF SAID CURVE BEARS N.09°34'21"E., 91.79') A DISTANCE OF 92.44'; THENCE ALONG A TANGENT CURVE TO THE RIGHT, RADIUS 35.00', CENTRAL ANGLE 91°32'55", (THE CHORD OF SAID CURVE BEARS N.43°34'35"E., 50.16') A DISTANCE OF 55.92'; THENCE N.89°21'03"E., 69.09', TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA M)

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE REFERRED TO AS POINT "M", THENCE S.00°38'57"E., 95.01; THENCE N.89°58'41"W., 106.20'; TO A POINT HEREINAFTER REFERRED TO AS POINT "N"; THENCE N.00°30'37"W., 95.00'; THENCE S.89°58'41"E., 105.97', TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA I)

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE REFERRED TO AS POINT "N"; THENCE S.06°22'58"W., 30.19' TO THE POINT OF BEGINNING; THENCE S.89°58'41"E., 79.89'; THENCE S.00°38'57"E., 115.85'; THENCE N.89°58'42"W., 67.66', TO A POINT HEREINAFTER REFERRED TO AS POINT "O"; THENCE N.00 ° 30'37"W, 20.00'; THENCE N.89 °

58°42'W., 12.51'; THENCE N.00°30'37"W., 95.85' TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA J)

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE REFERRED TO AS POINT "O", THENCE S.89°58'42"E., 77.64'; THENCE S.00°30'37"E., 83.25'; THENCE ALONG A NON-TANGENT CURVE TO THE LEFT, RADIUS 85.00', CENTRAL ANGLE 43°29'17", (THE CHORD OF SAID CURVE BEARS S.19°32'46"W., 62.98') A LENGTH OF 64.52'; THENCE ALONG A TANGENT CURVE TO THE RIGHT, RADIUS 175.00', CENTRAL ANGLE 21°55'43", (THE CHORD OF SAID CURVE BEARS S.08°45'59"W., 66.57') A DISTANCE OF 66.98'; THENCE N.74°39'51"W., 120.68'; THENCE N.22°50'41"E., 129.32'; THENCE N.06°28'31"E., 45.19' TO A POINT HEREINAFTER REFERRED TO AS POINT "P"; THENCE ALONG A TANGENT CURVE TO THE RIGHT, RADIUS 14.00', CENTRAL ANGLE 83 ° 32'46", (THE CHORD OF SAID CURVE BEARS N.48 ° 14'54"E., 18.65') A DISTANCE OF 20.41' TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA K)

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE REFERRED TO AS POINT "P"; THENCE S.29 ° 36'01"W., 61.76', TO THE POINT OF BEGINNING; THENCE S.22°50'41"W., 95.36'; THENCE ALONG A TANGENT CURVE TO THE RIGHT, RADIUS 19.00', CENTRAL ANGLE 58°54'55", (THE CHORD OF SAID CURVE BEARS S.52°18'08"W., 18.69'), A DISTANCE OF 19.54'; THENCE N.67°42'31"W., 25.56'; THENCE N.57°09'54"W., 74.52'; THENCE N.32°50'06"E., 61.62'; THENCE ALONG A TANGENT CURVE TO THE LEFT, RADIUS 120.00', CENTRAL ANGLE 12°57'49", (THE CHORD OF SAID CURVE BEARS N.26°21'12"E., 27.09') A DISTANCE OF 27.15'; THENCE S.73°50'07"E., 96.44', TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA L)

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE DEFINED AS POINT "B", THENCE N.89°44'12"E., 55.00'; TO THE POINT OF BEGINNING; THENCE N.00°30'37"W., 80.00'; THENCE N.89°44'12"E., 114.38'; THENCE N75°14'21"E., 57.38'; THENCE S.00°30'37"E., 94.37'; THENCE S.89°44'12"E., 170.00'; TO THE POINT OF BEGINNING. (FORMERLY KNOWN AS UNIT 145).

AREA OF LAND BEING ADDED BY REPLAT NO. 2 IS 3.7357 ACRES. THE TOTAL AREA OF THE EXISTING PARCEL AND THE AREA ADDED BY REPLAT NO. 2 IS 8.4367 ACRES.

3. Article VI of the Master Deed is amended to provide that the Condominium consists of 186 Units. The Percentages of Value assigned to each Unit are set forth on Exhibit C to this Second Amendment, calculated pursuant to the method and formula provided in the Master Deed.

4. Except as expressly amended herein, all other terms and provisions of the Master Deed and its exhibits, as amended, shall continue in full force and effect, including, without limitation, those provisions which permit Developer to make future amendments to the Master Deed.

5. All capitalized terms not defined herein shall have the respective meanings ascribed to them in the Master Deed.

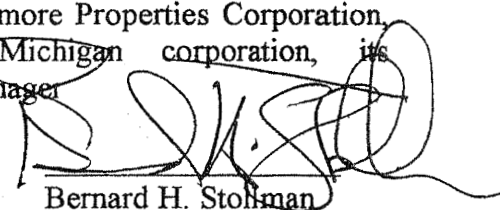
IN WITNESS WHEREOF, Developer has caused this Second Amendment of Master Deed and Replat No. 2 to be executed the day and year first above written.

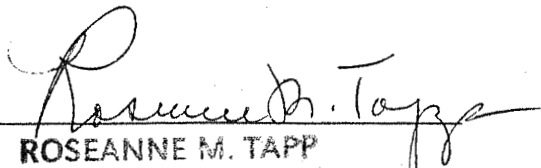
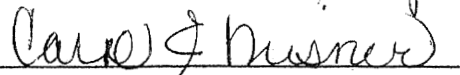
WITNESS:

Signed by:

CHERRY HILL INVESTORS LLC, a Michigan limited liability company

By: Biltmore Properties Corporation, a Michigan corporation, its Manager

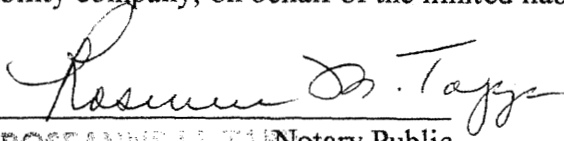
By: 
Bernard H. Stollman
Vice President


ROSEANNE M. TAPP

CAROL E. MISNER

STATE OF MICHIGAN)
) ss.
COUNTY OF OAKLAND)

The foregoing was acknowledged before me this 27th day of December, 2002, by Bernard H. Stollman, who is Vice President of Biltmore Properties Corporation, a

Michigan corporation, the Manager of Cherry Hills Investors LLC, a Michigan limited liability company, on behalf of the limited liability company.



* ROSEANNE M. TAPP, Notary Public
Notary Public, OAKLAND County, MI
My Commission Expires: 6/29/2005

ROSEANNE M. TAPP
Notary Public, Oakland County, MI
My Commission Expires Jun. 29, 2005

**Please print or type name of person signing (black ink only).*

DRAFTED BY:
Kevin Kohls
The Kohls Law Firm
2025 West Long Lake Road
Suite 104
Troy, Michigan 48098

WHEN RECORDED RETURN TO:
David J. Stollman
2025 West Long Lake Road
Suite 104
Troy, Michigan 48098

REPLAT NO. 2
WAYNE COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 591
EXHIBIT B TO THE MASTER DEED OF
CHERRY HILL VILLAGE II

PART OF THE NORTHEAST 1/4 AND NORTHWEST 1/4 OF SECTION 19, T.2S., R.8E.,
CANTON TOWNSHIP, WAYNE COUNTY, MICHIGAN

SURVEYOR :
WARNER, CANTRELL & PADMOS, INC.
CIVIL ENGINEERS AND LAND SURVEYORS
27300 Hoggerty Road, Suite F2
FARMINGTON HILLS, MICHIGAN, 48331

DEVELOPER :
CHERRY HILL INVESTORS, L.L.C.
2025 W. LONG LAKE ROAD, STE. 104
TROY, MICHIGAN 48098

EXAMINED AND APPROVED
DATE DEC 27 2002
BY [Signature]
DANIEL P. LANE
PLAT ENGINEER A/L/U

LEGAL DESCRIPTION :
CHERRY HILL VILLAGE II
REPLAT NO. 2
EXISTING PARCEL

CHERRY HILL VILLAGE II
LAND BEING ADDED BY REPLAT 2

PART OF THE NE 1/4 AND NW 1/4 OF SECTION 19, T.2S., R.8E., CANTON TOWNSHIP, WAYNE COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 19, T.2S., R.8E., CANTON TOWNSHIP, WAYNE COUNTY, MICHIGAN S.89°37'51"W, 156.40'; THENCE S.00°17'49"E, 50.25'; THENCE S.00°15'48"E, 123.50'; THENCE N.89°37'51"E, 48.32'; THENCE S.00°30'37"E, 76.60' TO THE POINT OF BEGINNING. THENCE S.00°30'37"E, 95.50'; TO A POINT HEREAFTER REFERRED TO AS POINT "B"; THENCE ALONG A NON-TANGENT CURVE TO THE LEFT, RADIUS 61.00', CENTRAL ANGLE 72°25'06" (THE CHORD OF SAID CURVE BEARS S.35°41'58"W, 72.07') A DISTANCE OF 77.10'; THENCE S.00°30'37"E, 135.99'; TO A POINT HEREAFTER REFERRED TO AS POINT "C"; THENCE N.89°29'23"W, 100.00'; TO A POINT HEREAFTER REFERRED TO AS POINT "D"; THENCE N.00°30'37"W, 197.02'; N.33°37'03"E, 101.91'; THENCE ALONG A TANGENT CURVE TO THE RIGHT, RADIUS 19.00', CENTRAL ANGLE 55°52'20" (THE CHORD OF SAID CURVE BEARS N.61°33'13"E, 17.80') A DISTANCE OF 18.53'; THENCE N.89°23'23"E, 69.73'; TO THE POINT OF BEGINNING. (FORMERLY KNOWN AS UNITS 2 AND 3).

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE DEFINED AS POINT "C"; THENCE S.00°30'37"E, 140.00'; THENCE S.14°18'08"E, 115.87'; THENCE S.06°42'54"E, 369.73'; THENCE S.10°53'13"E, 50.98'; TO A POINT HEREAFTER REFERRED TO AS POINT "E"; ALSO BEING THE POINT OF BEGINNING. THENCE S.02°14'S1"E, 227.64'; TO A POINT HEREAFTER REFERRED TO AS POINT "F"; THENCE S.87°45'09"W, 116.00'; THENCE N.02°14'41"W, 95.05'; THENCE ALONG A TANGENT CURVE TO THE LEFT, RADIUS 39.00'; CENTRAL ANGLE 87°23'38" (THE CHORD OF SAID CURVE BEARS N.45°56'41"W, 53.89') A DISTANCE OF 59.49'; THENCE N.89°38'30"W, 32.18'; THENCE N.00°21'30"E, 100.00'; THENCE S.89°38'30"E, 170.01'; TO THE POINT OF BEGINNING. (FORMERLY KNOWN AS UNIT 2B).

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE DEFINED AS POINT "D"; THENCE N.17°20'11"W, 66.90'; THENCE S.00°30'37"E, 190.93'; THENCE ALONG A TANGENT CURVE TO THE LEFT, RADIUS 40.00', CENTRAL ANGLE 45°31'24" (THE CHORD OF SAID CURVE BEARS S.23°16'20"E, 30.95') A DISTANCE OF 31.78'; THENCE S.43°18'07"W, 14.61'; THENCE S.89°55'58"W, 106.86'; THENCE N.00°30'37"W, 230.00'; THENCE N.89°55'58"E, 105.00'; TO THE POINT OF BEGINNING. (FORMERLY KNOWN AS UNIT 7 AND FORMER OPEN SPACE).

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE DEFINED AS POINT "E"; THENCE S.89°38'30"E, 55.08'; TO THE POINT OF BEGINNING; THENCE S.89°38'30"E, 94.99'; TO A POINT HEREAFTER REFERRED TO AS POINT "G"; THENCE S.08°33'52"E, 122.03'; THENCE S.04°09'15"E, 83.61'; THENCE ALONG A TANGENT CURVE TO THE RIGHT, RADIUS 120.00', CENTRAL ANGLE 14°55'59" (THE CHORD OF SAID CURVE BEARS S.03°16'45"W, 31.19') A DISTANCE OF 31.28'; THENCE ALONG A TANGENT CURVE TO THE LEFT, RADIUS 120.00', CENTRAL ANGLE 14°47'46" (THE CHORD OF SAID CURVE BEARS S.03°22'51"W, 30.90') A DISTANCE OF 30.99'; THENCE S.04°01'02"E, 176.09'; THENCE S.43°23'45"E, 3.60'; THENCE S.87°45'09"W, 112.86'; THENCE N.02°14'51"W, 449.68'; TO THE POINT OF BEGINNING. (FORMERLY KNOWN AS UNIT 41).

COMMENCING AT A POINT HERETOFORE DEFINED AS POINT "F"; THENCE S.02°14'S1"E, 50.00'; TO THE POINT OF BEGINNING; THENCE S.02°14'S1"E, 211.93'; THENCE N.79°11'38"W, 90.53'; THENCE N.56°55'19"W, 14.26'; THENCE N.02°14'S1"W, 183.24'; THENCE N.87°45'09"E, 99.82'; TO THE POINT OF BEGINNING. (FORMERLY KNOWN AS UNIT 39).

COMMENCING AT A POINT HERETOFORE DEFINED AS POINT "G"; THENCE S.89°38'30"E, 96.88'; THENCE S.57°09'54"E, 262.25'; TO A POINT HEREAFTER REFERRED TO AS POINT "H"; ALSO BEING THE POINT OF BEGINNING; THENCE S.57°09'54"E, 259.01'; THENCE S.34°38'54"W, 94.05'; THENCE N.57°09'54"W, 73.13'; THENCE S.85°08'31"W, 46.37'; THENCE N.13°02'59"E, 15.76'; THENCE N.58°38'58"W, 150.92'; THENCE N.38°12'38"E, 105.83'; TO THE POINT OF BEGINNING. (FORMERLY KNOWN AS UNITS 100 AND 101).

COMMENCING AT A POINT HERETOFORE DEFINED AS POINT "H"; THENCE N.38°12'36"E, 291.28'; THENCE N.35°24'49"E, 55.06'; TO THE POINT OF BEGINNING. THENCE N.32°50'06"E, 100.00'; THENCE S.57°09'54"E, 234.24'; THENCE S.29°32'10"W, 100.17'; THENCE N.57°09'54"W, 240.00'; TO THE POINT OF BEGINNING. (FORMERLY KNOWN AS UNIT 99), CONTAINING 4.7010 ACRES AS A WHOLE.

PART OF THE NE 1/4 AND NW 1/4 OF SECTION 19, T.2S., R.8E., CANTON TOWNSHIP, WAYNE COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

DESCRIBED AS COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 19, T.2S., R.8E., CANTON TOWNSHIP, WAYNE COUNTY, MICHIGAN; THENCE S.89°58'42"E, 797.50'; THENCE S.00°30'27"E, 50.00'; THENCE S.89°58'42"E, 236.04'; THENCE S.00°38'57"E, 135.00'; TO THE POINT OF BEGINNING; THENCE S.00°38'57"E, 95.01'; THENCE N.89°58'42"E, 146.11'; TO A POINT HEREAFTER REFERRED TO AS POINT "J"; THENCE N.00°30'37"W, 100.01'; THENCE S.89°58'42"E, 145.86'; TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA E)

TOGETHER WITH A PARCEL COMMENCING AT A POINT HERETOFORE REFERRED TO AS POINT "J"; THENCE S.13°07'32"E, 51.35'; TO THE POINT OF BEGINNING; THENCE S.00°38'57"E, 95.01'; TO A POINT HEREAFTER REFERRED TO AS POINT "K"; THENCE N.89°58'42"W, 166.93'; N.00°30'37"W, 95.00'; THENCE S.89°58'42"E, 166.71'; TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA F)

TOGETHER WITH A PARCEL COMMENCING AT A POINT HERETOFORE REFERRED TO AS POINT "K"; THENCE S.00°38'57"E, 20.00'; TO THE POINT OF BEGINNING; THENCE S.00°38'57"E, 288.09'; THENCE S.89°21'03"W, 95.00'; TO A POINT HEREAFTER REFERRED TO AS POINT "L"; THENCE N.00°38'57"W, 269.93'; THENCE ALONG A TANGENT CURVE TO THE RIGHT, RADIUS 19.00', CENTRAL ANGLE 90°40'15" (THE CHORD OF SAID CURVE BEARS N.44°41'10"E, 27.03') A DISTANCE OF 30.07'; THENCE S.89°58'42"E, 75.76'; TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA G)

TOGETHER WITH A PARCEL COMMENCING AT A POINT HERETOFORE REFERRED TO AS POINT "L"; THENCE S.85°21'03"W, 20.00'; TO THE POINT OF BEGINNING; THENCE S.89°21'03"W, 67.00'; THENCE ALONG A TANGENT CURVE TO THE LEFT, RADIUS 85.00', CENTRAL ANGLE 30°23'27" (THE CHORD OF SAID CURVE BEARS S.74°09'19"W, 44.56') A DISTANCE OF 45.09'; THENCE N.00°38'57"W, 307.36'; TO A POINT HEREAFTER REFERRED TO AS POINT "M"; THENCE S.85°03'48"E, 58.36'; THENCE S.89°58'42"E, 33.14'; THENCE ALONG A TANGENT CURVE TO THE RIGHT, RADIUS 19.00', CENTRAL ANGLE 89°19'44" (THE CHORD OF SAID CURVE BEARS S.45°18'49"E, 26.71') A DISTANCE OF 29.62'; THENCE S.00°38'57"E, 270.81'; TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA H)

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE REFERRED TO AS POINT "L"; THENCE S.19°03'18"W, 53.11'; TO THE POINT OF BEGINNING; THENCE S.00°27'16"W, 156.46'; THENCE N.81°29'03"W, 83.27'; THENCE N.64°59'37"W, 39.00'; THENCE ALONG A NON-TANGENT CURVE TO THE LEFT, RADIUS 225.00', CENTRAL ANGLE 23°32'26" (THE CHORD OF SAID CURVE BEARS N.00°34'21"E, 91.79') A DISTANCE OF 92.44'; THENCE ALONG A TANGENT CURVE TO THE RIGHT, RADIUS 35.00', CENTRAL ANGLE 81°32'55" (THE CHORD OF SAID CURVE BEARS N.43°34'35"E, 50.16') A DISTANCE OF 55.92'; THENCE N.89°21'03"E, 69.09'; TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA M)

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE REFERRED TO AS POINT "M"; THENCE S.00°38'57"E, 95.01'; THENCE N.89°58'41"W, 106.20'; TO A POINT HEREAFTER REFERRED TO AS POINT "N"; THENCE N.00°30'37"W, 95.00'; THENCE S.89°58'41"E, 105.97'; TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA I)

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE REFERRED TO AS POINT "N"; THENCE S.06°22'58"W, 30.19'; TO THE POINT OF BEGINNING; THENCE S.89°58'41"E, 79.89'; THENCE S.00°38'57"E, 115.85'; THENCE N.89°58'42"W, 67.66'; TO A POINT HEREAFTER REFERRED TO AS POINT "O"; THENCE N.00°30'37"W, 20.00'; THENCE N.89°58'42"W, 12.51'; THENCE N.00°30'37"W, 95.85'; TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA J)

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE REFERRED TO AS POINT "O"; THENCE S.89°58'42"E, 77.64'; THENCE S.00°30'37"E, 83.25'; THENCE ALONG A NON-TANGENT CURVE TO THE LEFT, RADIUS 85.00', CENTRAL ANGLE 43°29'17" (THE CHORD OF SAID CURVE BEARS S.19°32'46"W, 62.98') A LENGTH OF 64.52'; THENCE ALONG A TANGENT CURVE TO THE RIGHT, RADIUS 175.00', CENTRAL ANGLE 21°55'43" (THE CHORD OF SAID CURVE BEARS S.08°45'56"W, 66.57') A DISTANCE OF 68.98'; THENCE N.74°39'51"W, 120.68'; THENCE N.22°50'41"E, 129.32'; THENCE N.06°28'31"E, 45.19'; TO A POINT HEREAFTER REFERRED TO AS POINT "P"; THENCE ALONG A TANGENT CURVE TO THE RIGHT, RADIUS 14.00', CENTRAL ANGLE 83°32'46" (THE CHORD OF SAID CURVE BEARS N.48°14'54"E, 18.65') A DISTANCE OF 20.41'; TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA K)

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE REFERRED TO AS POINT "P"; THENCE S.29°36'01"W, 61.76'; TO THE POINT OF BEGINNING; THENCE S.22°50'41"W, 95.36'; THENCE ALONG A TANGENT CURVE TO THE RIGHT, RADIUS 19.00', CENTRAL ANGLE 58°54'55" (THE CHORD OF SAID CURVE BEARS S.52°18'06"W, 18.69') A DISTANCE OF 18.54'; THENCE N.67°42'51"W, 25.56'; THENCE N.57°09'54"W, 74.52'; THENCE N.32°50'06"E, 61.82'; THENCE ALONG A TANGENT CURVE TO THE LEFT, RADIUS 120.00', CENTRAL ANGLE 12°57'49" (THE CHORD OF SAID CURVE BEARS N.26°21'12"E, 27.09') A DISTANCE OF 27.15'; THENCE S.73°50'07"E, 96.44'; TO THE POINT OF BEGINNING. (DESIGNATED UNPLATTED AREA L)

TOGETHER WITH A PARCEL DESCRIBED AS COMMENCING AT A POINT HERETOFORE DEFINED AS POINT "B"; THENCE N.89°44'12"E, 55.00'; TO THE POINT OF BEGINNING; THENCE N.00°30'37"W, 80.00'; THENCE N.89°44'12"E, 114.38'; THENCE N.75°14'21"E, 57.38'; THENCE S.00°30'37"E, 94.37'; THENCE S.89°44'12"E, 170.00'; TO THE POINT OF BEGINNING. (FORMERLY KNOWN AS UNIT 145).

AREA OF LAND BEING ADDED BY REPLAT NO. 2 IS 3.7357 ACRES. THE TOTAL AREA OF THE EXISTING PARCEL AND THE AREA ADDED BY REPLAT NO. 2 IS 8.4367 ACRES.

NOTE :
ALL UTILITY IMPROVEMENTS SHOWN ON THE PLAN EITHER HAVE BEEN CONSTRUCTED OR MUST BE BUILT. UNITS 1-14 MUST BE BUILT. ALL OTHER UNITS NEED NOT BE BUILT.

UNIT NUMBERS OF RECORD ARE 1 THRU 95 INCLUSIVE. UNIT NUMBERS BEING ADDED BY REPLAT 2 ARE 96 THRU 186 INCLUSIVE.

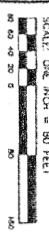
NOTE: THE ASTERISK (*) AS SHOWN IN THE SHEET INDEX INDICATES AMENDED SHEETS WHICH ARE REVISED DATED OCTOBER 28, 2002. THESE SHEETS WITH THIS SUBMISSION ARE TO REPLACE SHEETS PREVIOUSLY RECORDED.

[Signature]
ROBERT C. HARR
PROFESSIONAL LAND SURVEYOR NO. 39081

SHEET NO.	TITLE
* 1	COVER
* 2	SURVEY PLAN
* 3	PROP. FUTURE DEV. PLAN
4	SITE PLAN - UNITS 1-26 (BLDG)
5	SITE PLAN - UNITS 27-46 & 7;
6	SITE PLAN - UNITS 47-71 (BLD)
7	SITE PLAN - UNITS 80-95 (BLD)
* 7A	SITE PLAN - UNITS 102-123 (B)
* 7B	SITE PLAN - UNITS 124-164 (B)
* 7C	SITE PLAN - UNITS 165-186 (B)
8	UTILITY & EASEMENT PLAN- UNIT
9	UTILITY & EASEMENT PLAN-UNIT
* 9A	UTILITY & EASEMENT PLAN-UNITS
* 9B	UTILITY & EASEMENT PLAN-UNITS
* 9C	UTILITY & EASEMENT PLAN-UNITS
10	TOWNHOUSE A -FND. PLAN
11	-1ST FLR. PLAN
12	-2ND FLR. PLAN
13	MANOR HOME B - FND. PLAN
14	-1ST FLR. PLAN
15	-2ND FLR. PLAN
16	MANOR HOME C - FND. PLAN
17	-1ST FLR. PLAN
18	-2ND FLR. PLAN
19	MANOR HOME D - FND. PLAN
20	-1ST FLR. PLAN
21	-2ND FLR. PLAN
22	MANOR HOME E - FND.&1ST FLR.
23	-2ND FLR. PLAN
24	MANOR HOME F - FND. PLAN
25	-1ST FLR. PLAN
26	-2ND FLR. PLAN
27	MANOR HOME G/TOWNHOUSE - FND
28	-1ST FLR. PLAN
29	-2ND FLR. PLAN
30	MANOR HOME H - FND. PLAN
31	-1ST FLR. PLAN
32	-2ND FLR. PLAN
33	MANOR HOME I - FND. PLAN
34	-1ST FLR. PLAN
35	-2ND FLR. PLAN
* 36	MANOR HOME-BUILDING J, FND. PL
* 37	-1ST FLR. PLAN
* 38	-2ND FLR. PLAN
* 39	MANOR HOME BUILDING K - FND.
* 40	-1ST FLR. PLAN
* 41	-2ND FLR. PLAN
* 42	MANOR HOME-BUILDING L, FND. PL
* 43	-1ST FLR. PLAN
* 44	-2ND FLR. PLAN
* 45	MANOR HOME BUILDING M - FND. I
* 46	-1ST FLR. PLAN
* 47	-2ND FLR. PLAN
* 48	MANOR HOME-BUILDING N, FND. PL
* 49	-1ST FLR. PLAN
* 50	-2ND FLR. PLAN
* 51	BUILDING SECTIONS
* 52	BUILDING SECTIONS
* 53	BUILDING SECTIONS
* 54	TOWNHOUSE - BLDG. OFFSET PLAN
* 55	MANOR HOME - BLDG. OFFSET PLA
* 56	MANOR HOME - BLDG. OFFSET PLA



CHERRY HILL VILLAGE II		PROF
COVER SHEET		
JOB NO.		
PLAN FR.		
NO.		



SCALE: ONE INCH = 60 FEET

DATE: 12-16-03

ROBERT C. HARR
LICENSED PROFESSIONAL SURVEYOR
LICENSE NUMBER 39081
WARRNER, CANTRELL & PADMOS, INC.
27300 Huggely Road, Suite F2
Farmington Hills, MI 48331

CHERRY HILL VILLAGE II
SURVEY PLAN

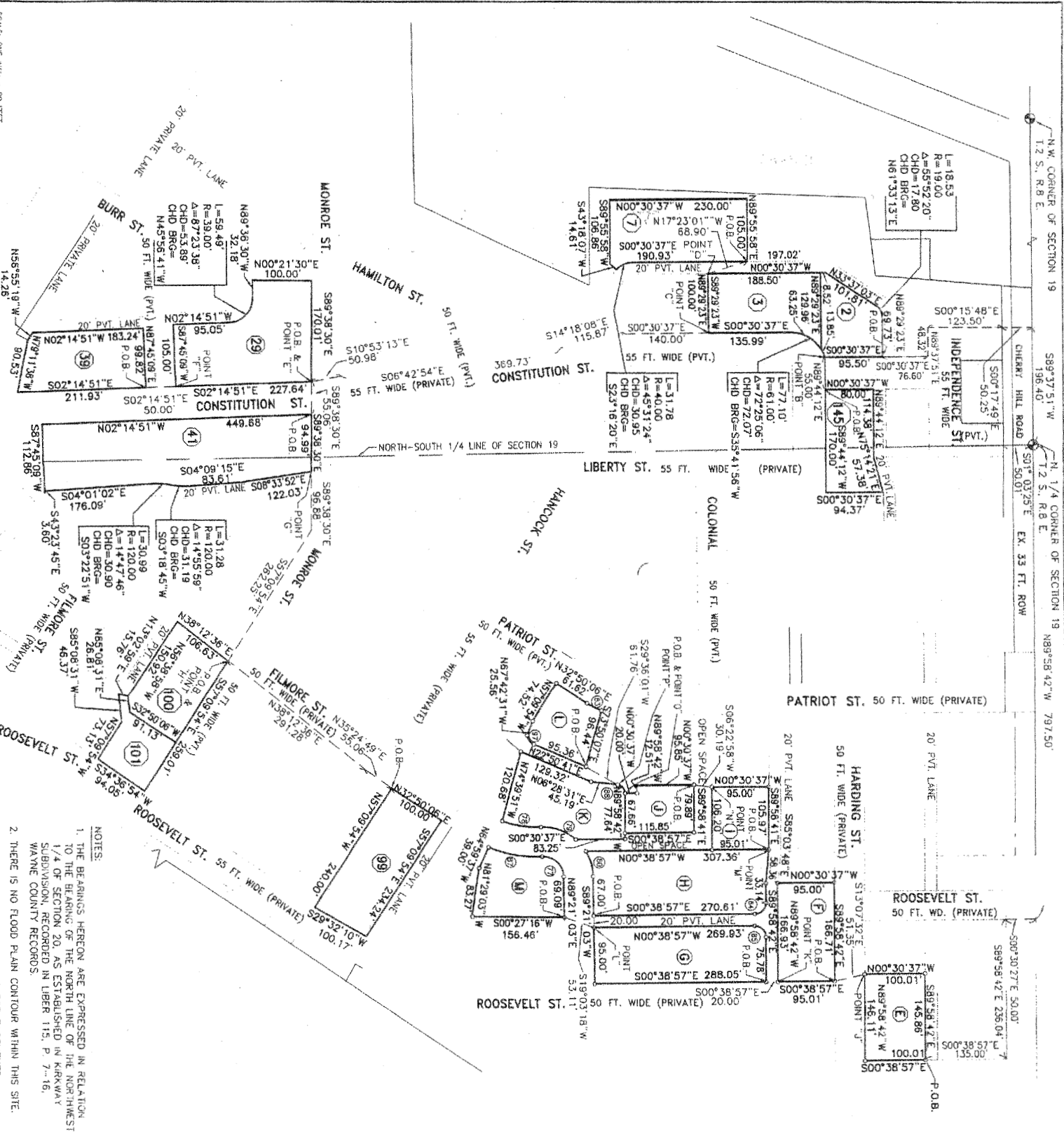
SCALE: 1" = 60'
DATUM: U.S.G.S.

DATE: 12-16-03

ROBERT C. HARR
LICENSED PROFESSIONAL SURVEYOR
LICENSE NUMBER 39081
WARRNER, CANTRELL & PADMOS, INC.
27300 Huggely Road, Suite F2
Farmington Hills, MI 48331

CHERRY HILL VILLAGE II
SURVEY PLAN

SCALE: 1" = 60'
DATUM: U.S.G.S.



NOTES:
1. THE BEARINGS HEREON ARE EXPRESSED IN RELATION TO THE BEARING OF THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 20, AS ESTABLISHED IN KIRKWAY SUBDIVISION, RECORDED IN LIBER 115, P. 7-16, WAYNE COUNTY RECORDS.
2. THERE IS NO FLOOD PLAN CONTOUR WITHIN THIS SITE.
3. SEE SHEETS 8 THROUGH 9C FOR EASEMENTS FOR PROPOSED UTILITIES.

SURVEYOR'S CERTIFICATE:
I, ROBERT C. HARR, LICENSED PROFESSIONAL SURVEYOR OF THE STATE OF MICHIGAN, HEREBY CERTIFY THAT THE SUBDIVISION PLAN KNOWN AS WAYNE COUNTY SUBDIVISION PLAN NO. 591, AS SHOWN ON THE DRAWINGS, REPRESENTS A SURVEY ON THE GROUND IN ACCORDANCE WITH THE REQUIREMENTS OF THE ACT IN CONNECTION WITH THE REQUIRING MONUMENTS AND IRON BOLTS LOCATED IN THE GROUND WITHIN ONE YEAR OF THE DATE OF THIS CERTIFICATE AS REQUIRED BY RULES PROMULGATED BY THE BOARD OF SURVEYING AND MAPPING AS AMENDED.
THAT THE ACCURACY OF THIS SURVEY IS WITHIN THE TOLERANCES ESTABLISHED BY RULES PROMULGATED UNDER THE ACT OF 1978, AS AMENDED, AND THAT THE BEARINGS AS SHOWN ARE NOTED AS REQUIRED BY THE RULES PROMULGATED UNDER THE ACT OF 1978.
DATE: 12-16-03

LEGEND:
○ DENOTES A CONCRETE MONUMENT
A 1/2" DIAMETER STEEL R CONCRETE CYLINDER, 36" H
□ BOUNDARY CORNERS.
② FORMER UNIT # OF CHERRY HILL VILLAGE II
④ DENOTES BUILDING LETTER

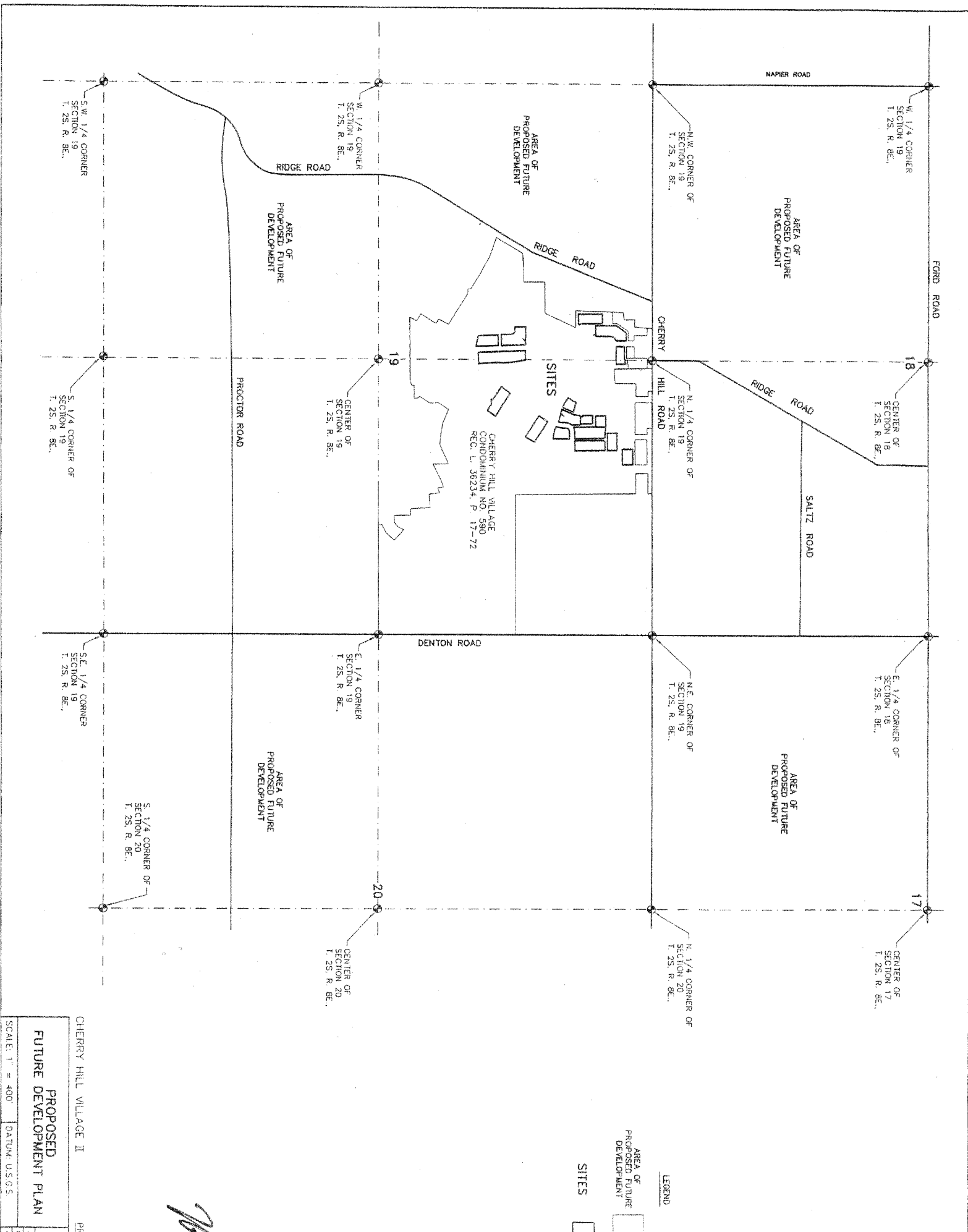
1. THE BEARINGS HEREON ARE EXPRESSED IN RELATION TO THE BEARING OF THE NORTH LINE OF SECTION 19, AS ESTABLISHED IN CONDOMINIUM PLAN NO. 590, RECORDED IN WAYNE COUNTY RECORDS.

CURVE	LENGTH	RADIUS	DELTA
77	55.927	35.001	91.1
78	66.981	175.001	2.14
79	64.521	85.001	4.37
80	45.091	85.001	3.07
81	29.627	19.001	89.1
82	30.071	19.001	90.4
83	92.441	225.001	2.37
84	20.411	14.001	83.3
85	19.541	19.001	58.7

NOTES:
1. THE BEARINGS HEREON ARE EXPRESSED IN RELATION TO THE BEARING OF THE NORTH LINE OF SECTION 19, AS ESTABLISHED IN CONDOMINIUM PLAN NO. 590, RECORDED IN WAYNE COUNTY RECORDS.

2. THERE IS NO FLOOD PLAN CONTOUR WITHIN THIS SITE.
3. SEE SHEETS 8 THRU 9C FOR EASEMENTS FOR PROPOSED UTILITIES.



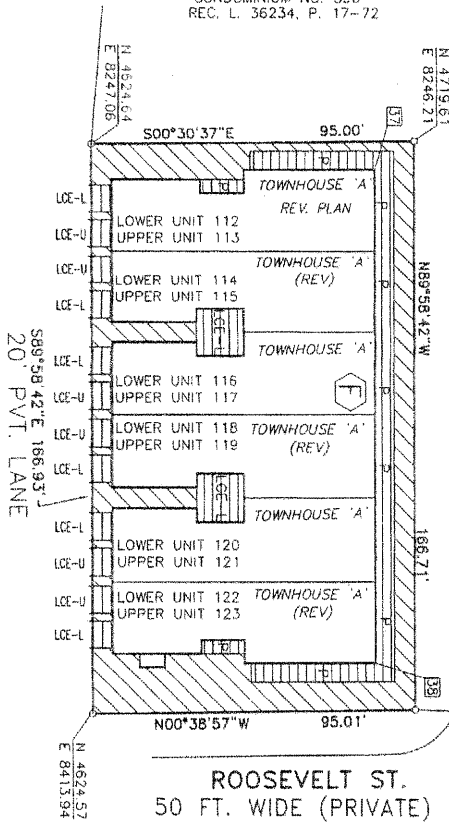


CHERRY HILL VILLAGE II
 PROPOSED
 FUTURE DEVELOPMENT PLAN
 SCALE: 1" = 400'
 DATUM: U.S.G.S.

PRG	
NO.	
DATE	
BY	
CHKD	
APP'D	

Handwritten signature/initials

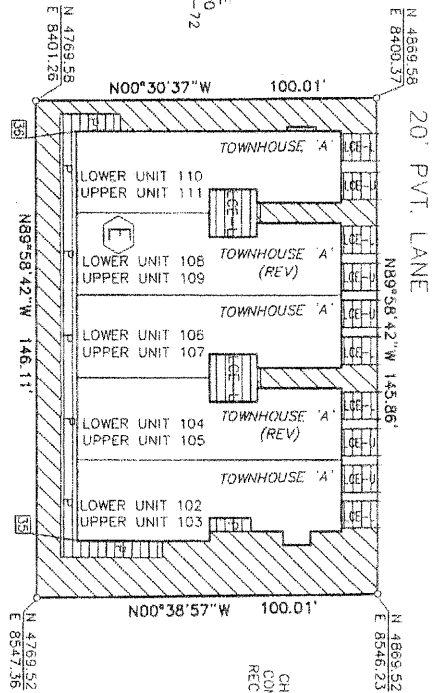
CHERRY HILL VILLAGE
CONDOMINIUM NO. 590
REC. L. 36234, P. 17-72



ROOSEVELT ST.
50 FT. WIDE (PRIVATE)

HARDING ST.
50 FT. WIDE (PRIVATE)

CHERRY HILL VILLAGE
CONDOMINIUM NO. 590
REC. L. 36234, P. 17-72



ROOSEVELT ST.
50 FT. WIDE (PRIVATE)

CHERRY HILL VILLAGE
CONDOMINIUM NO. 590
REC. L. 36234, P. 17-72

CHERRY HILL VILLAGE
CONDOMINIUM NO. 590
REC. L. 36234, P. 17-72

TABLE OF BUILDING
CORNER COORDINATES

NO.	BORING	EASTING
35	4781.51	8530.49
36	4781.58	8410.16
37	4708.00	8254.68
38	4707.93	8398.01



LEGEND

- ① CURVE NUMBER
- P PORCH
- DENOTES A CONCRETE 1/2" DIAMETER STEEL CONCRETE CYLINDER 31 BOUNDARY CORNERS
- DENOTES UNIT CORNER
- ▭ DENOTES BUILDING LET
- ▭ LIMITED COMMON ELEM
- ▭ LIMITED COMMON ELEM
- ▭ UNIT NUMBER
- ▭ LIMITS OF OWNERSHIP
- ▭ GENERAL COMMON ELE
- ▭ LIMITED COMMON ELEM

NOTES:

1. THE CONDOMINIUM IS SUBJECT TO THAT CERTAIN HILL VILLAGE PLANNED DEVELOPMENT DATED DECEMBER 1, 2023 P. 417-429, WAYNE COUNTY RECORDS SAME MAY BE AMENDED, AND WHICH AMONG OTHER SETBACK REQUIREMENTS APPLICABLE TO ALL UNITS.
2. THE GENERAL COMMON ELEMENTS AND UNSOLD 1 AREAS WITHIN WHICH UNITS MAY BE EXPANDED, DELETED, DELETED, EXPANDED AND CREATED, ALL SOLE DISCRETION AS PROVIDED IN THE MASTER DEED.
3. THE ROADWAYS AND ROAD RIGHTS-OF-WAY THAT WILL INITIALLY BE OWNED AND MAINTAINED BY THE VILLAGE HOMEOWNERS ASSOCIATION, AS PROVIDED IN THE DEVELOPER RESERVES THE RIGHT IN ITS SOLE DISCRETION TO DEDICATE THE ROADS TO THE COUNTY OF WAYNE OR ANY OTHER APPROPRIATE GOVERNMENTAL AGENCY.
4. THE BEARINGS HEREON ARE EXPRESSED IN RELATIONSHIP TO THE NORTH LINE OF THE NORTHEAST 1/4 SECTION 19, AS ESTABLISHED IN CHERRY HILL VILLAGE CONDOMINIUM PLAN NO.590, RECORDED IN LIBER 36 17-72, WAYNE COUNTY RECORDS.

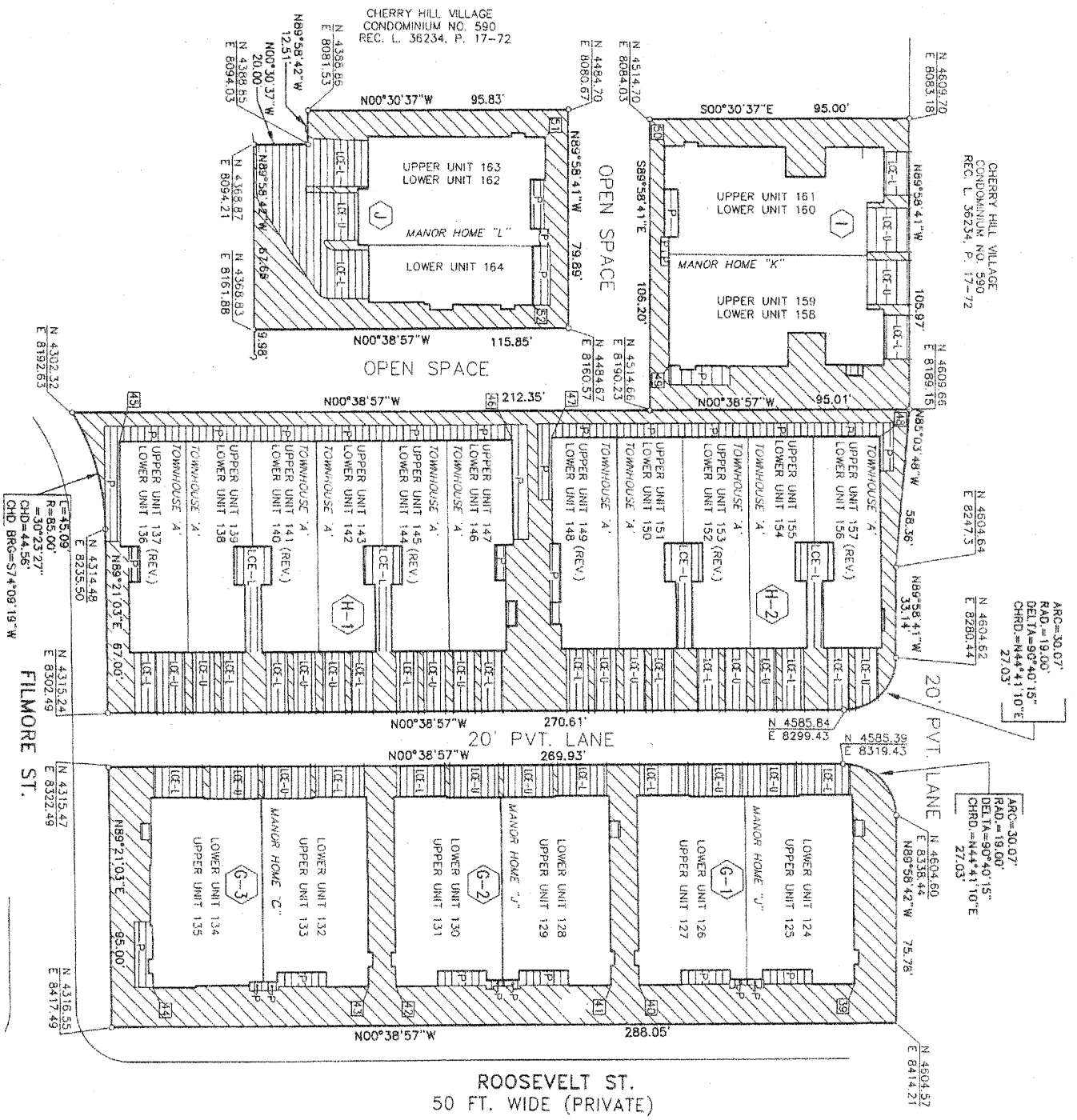
CHERRY HILL VILLAGE II

SITE PLAN

UNITS 102-123
BUILDINGS E AND F

SCALE: 1" = 20'
DATE: U.S.G.S.

006
100
100
100
100
100



CHERRY HILL VILLAGE
CONDOMINIUM NO. 590
REC. L. 36234, P. 17-72

TABLE OF BUILDING
CORNER COORDINATES

NO.	NORTHING	EASTING
39	4569.75	3400.06
40	4510.49	8400.94
41	4500.14	8401.05
42	4420.59	8401.92
43	4410.94	8402.03
44	4311.69	8402.91
45	4319.69	8203.31
46	4464.02	8201.65
47	4478.41	8200.63
48	4598.74	8199.27
49	4521.75	8173.79
50	4520.09	8093.88
51	4478.22	8090.92
52	4471.57	8192.30

LEGEND

- UNIT NUMBER
- LIMITS OF OWNERSHIP
- GENERAL COMMON ELE
- LIMITED COMMON ELE
- ① CURVE NUMBER
- P PORCH (LIMITED COMM)
- DENOTES A CONCRETE 1/2 DIAMETER STE CONCRETIC CYPINDER, BOUNDARY CORNERS, DENOTES UNIT CORNER
- ⊠ DENOTES BUILDING LE
- ⬢ LIMITED COMMON ELE
- ⬢ LIMITED COMMON ELE

NOTES:

1. THE CONDOMINIUM IS SUBJECT TO THAT CERTAIN HILL VILLAGE PLANNED DEVELOPMENT DATED DECEMBER 11, 1973 P. 417-439 WAYNE COUNTY RECORDS SAME MAY BE AMENDED AND WHICH MAKING OTHER SETBACK REQUIREMENTS APPLICABLE TO ALL UNITS
2. THE GENERAL COMMON ELEMENTS AND UNSOLD AREAS WITHIN THE UNITS MAY BE EXPANDED, DELETED, OR MODIFIED, EXPANDED AND CREATED, ALL SUCH DISCRETION AS PROVIDED IN THE MASTER DEED
3. THE ROADWAYS AND ROAD RIGHTS-OF-WAY THAT WILL IN FULL BE OWNED AND MAINTAINED BY THE VILLAGE HOMEOWNERS ASSOCIATION, AS PROVIDED IN THE DEVELOPER RESERVES THE RIGHT, IN HIS SOLE DISCRETION, TO THE COURTS OF WAYNE, OR ANY OTHER APPROPRIATE GOVERNMENTAL AGENCY
4. THE BEARINGS HEREON ARE EXPRESSED IN REFERENCE TO THE NORTH LINE OF THE NORTH LINE SECTION 19, AS ESTABLISHED IN CHERRY HILL VILLAGE CONDOMINIUM PLAN NO. 590, RECORDED IN LIBER 36 17-72, WAYNE COUNTY RECORDS.

CHERRY HILL VILLAGE II

SITE PLAN
UNITS 124-164
BUILDINGS G, H, I and J

SCALE: 1" = 20' DATUM: U.S.G.S.

CONSTITUTION ST. 55 FT. WIDE (PVT.)

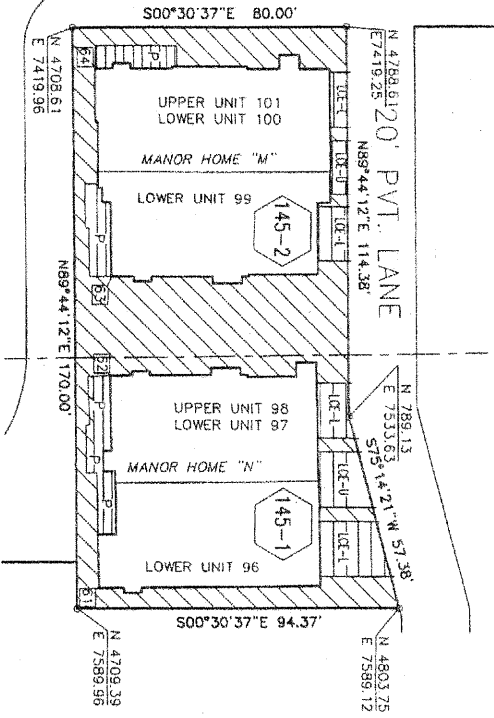
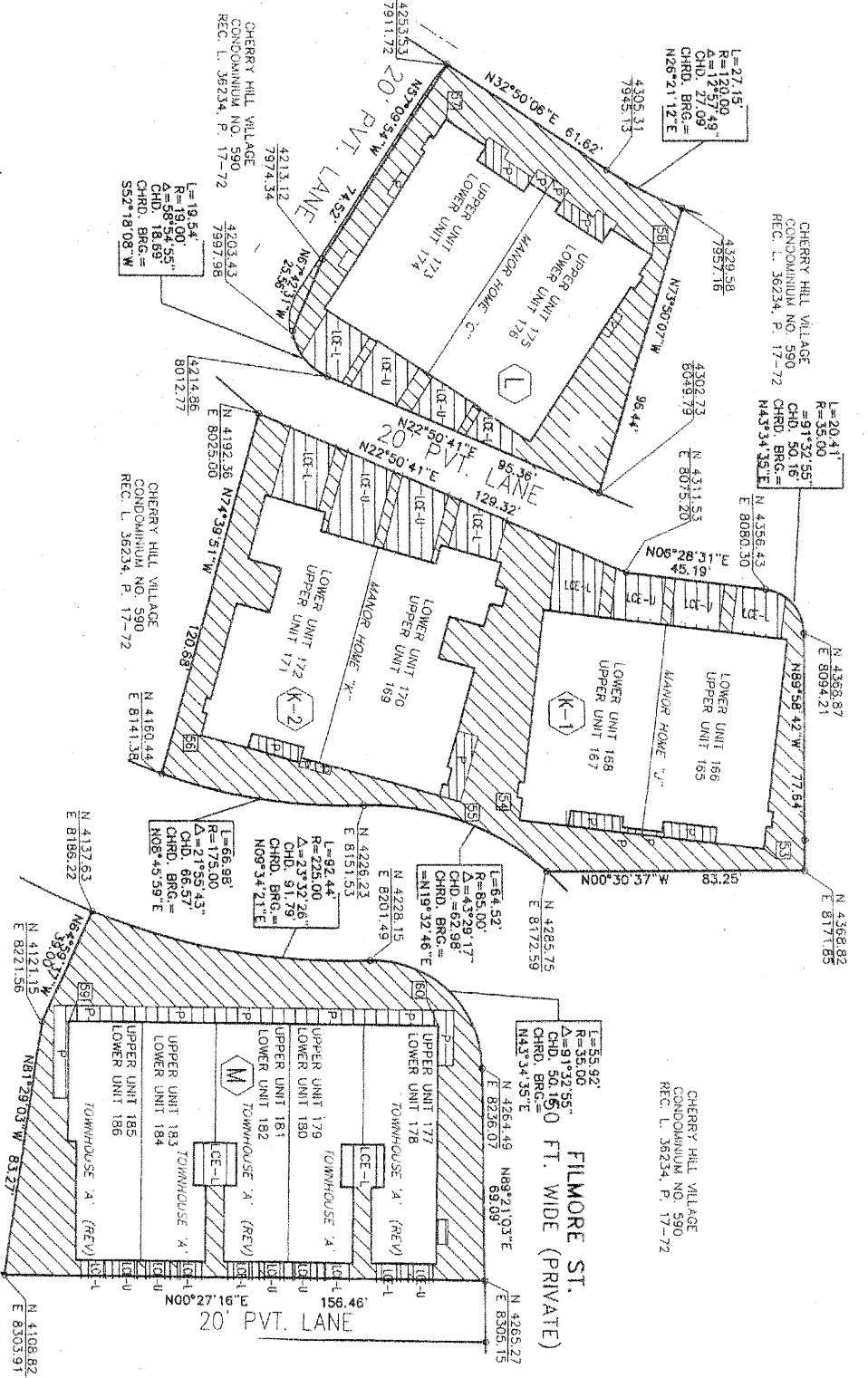
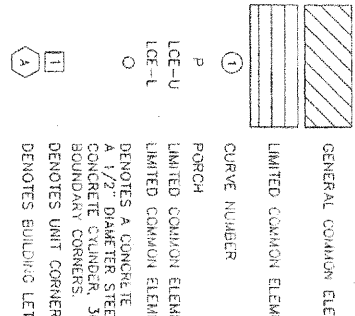


TABLE OF BUILDING CORNER COORDINATES

NO.	NORTHING	EASTING
53	4355.57	8164.93
54	4276.82	8155.99
55	4250.76	8148.19
56	4173.26	8128.66
57	4253.11	7929.43
58	4319.70	7922.40
59	4129.81	8221.41
60	4250.14	8222.37
61	4715.81	7583.76
62	4719.22	7522.32
63	4719.70	7493.10
64	4715.00	7431.74



FILMORE ST. 50 FT. WIDE (PRIVATE)



NOTES:

1. THE CONDOMINIUM IS SUBJECT TO THAT CERTAIN HILL VILLAGE PLANNED DEVELOPMENT, DATED DECEMBER 15, 1972 IN L. 32213 P. 417-429, WAYNE COUNTY RECORDS. SAME MAY BE AMENDED, AND WHICH, AMONG OTHERS, SETBACK REQUIREMENTS APPLICABLE TO ALL UNITS.
2. THE GENERAL COMMON ELEMENTS AND UNSOLD UNITS ARE WITHIN WHICH GENERAL AND LIMITED COMMON ELEMENTS, DELETED, EXPANDED AND CREATED, ALL IN SOLE DISCRETION AS PROVIDED IN THE MASTER DEED.
3. THE ROADWAYS AND ROAD RIGHTS-OF-WAY THAT WILL INITIALLY BE OWNED AND MAINTAINED BY THE HILL VILLAGE HOMEOWNERS ASSOCIATION, AS PROVIDED IN THE DEVELOPER RESERVES THE RIGHT, IN ITS SOLE DISCRETION, TO DEDICATE THE ROADS TO THE COUNTY OF WAYNE, OR ANY OTHER APPROPRIATE GOVERNMENTAL AGENCY.
4. THE BEARINGS HEREON ARE EXPRESSED IN RELATIONSHIP TO THE NORTH LINE OF THE NORTHEAST 1/4 SECTION 19, AS ESTABLISHED BY CHERRY HILL VILLAGE CONDOMINIUM PLAN NO. 590, RECORDED IN LIBER 36-17-72, WAYNE COUNTY RECORDS.

CHERRY HILL VILLAGE II

SITE PLAN

UNITS 165-186 & 96-101

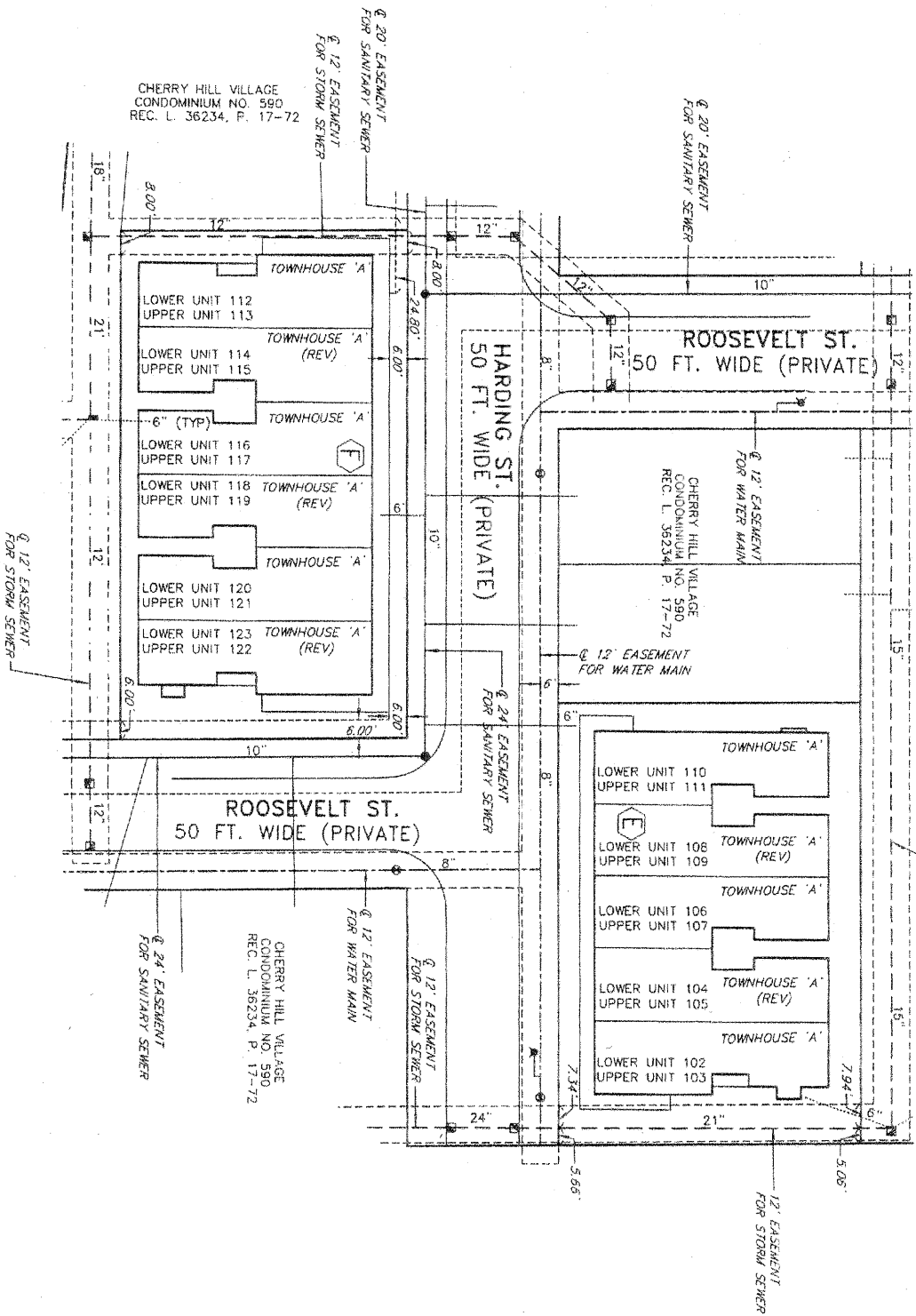
BUILDINGS K, L, M & 145

SCALE: 1" = 20'

DATUM: U.S.G.S.

DATE: 10/15/83

BY: [Signature]



NOTE: SITE DOES NOT LIE WITHIN A
FEDERALLY ESTABLISHED FLOOD
PLAIN HAZARDOUS AREA AS IDENTIFIED
BY THE FEDERAL INSURANCE
ADMINISTRATION, DEPARTMENT OF
HOUSING AND URBAN DEVELOPMENT
ACCORDING TO THE FEDERAL
EMERGENCY MANAGEMENT AGENCY
COMMUNITY PANEL NO. 260219
00048 DATED SEPTEMBER 2, 1981,
AND COMMUNITY PANEL NO. 260219
00078 DATED SEPTEMBER 2, 1981.

UTILITY NOTES:

1. SANITARY SEWER, WATER MAINS AND STORM SEWERS SHOWN HAVE BEEN CONSTRUCTED AS PART OF CHERRY HILL VILLAGE CONDOMINIUM.
2. ALL UTILITIES ARE UNDERGROUND.
3. TV - COMBINED WITH OTHER UTILITIES.
4. THE DETROIT EDISON COMPANY, MICHIGON, AMERITECH TELEPHONE COMPANY AND MEDIA-ONE UTILITY LOCATIONS ARE NOT AVAILABLE AND ARE TO BE SHOWN ON AS-BUILT DRAWINGS.
5. ALL UTILITY IMPROVEMENTS SHOWN ON THE PLAN EITHER HAVE BEEN CONSTRUCTED OR MUST BE BUILT. UNITS 1-14 MUST BE BUILT. ALL OTHER UNITS NEED NOT BE BUILT.

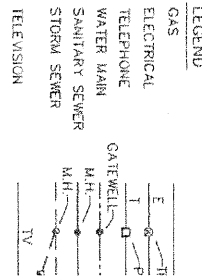
CHERRY HILL VILLAGE
CONDOMINIUM NO. 590
REC. L. 36234, P. 17-72

CHERRY HILL VILLAGE
CONDOMINIUM NO. 590
REC. L. 36234, P. 17-72

UTILITY	SOURCE OF INFO
GAS	MICHIGON
ELECTRICAL	DETROIT EDISON
TELEPHONE	AMERITECH
WATER MAIN	CHERRY HILL ENGINEERING & WARNER, CAN DATED APRIL
SANITARY SEWER	CHERRY HILL ENGINEERING & WARNER, CAN DATED MARCH
STORM SEWER	CHERRY HILL ENGINEERING & WARNER, CAN DATED APRIL
TV CABLE	MEDIA ONE

NOTES REGARDING EASEMENTS

1. THE SANITARY SEWER HAS A 20' WIDE OTHERWISE NOTED.
2. THE CENTERLINE OF STORM SEWERS (8" & 12") OF THE PUBLIC ROAD IS THE CENTERLINE OF THE PRIVATE ROAD UNLESS OTHERWISE NOTED.
3. THE CENTERLINE OF 8" DIAMETER WATER OF A 12' WIDE EASEMENT FOR SAME A ELECTRICAL, TELEPHONE, GAS AND CABLE INFORMATION IS NOT AVAILABLE AND IS ON AS BUILT PLANS.
4. (A) DENOTES BUILDING LETTER

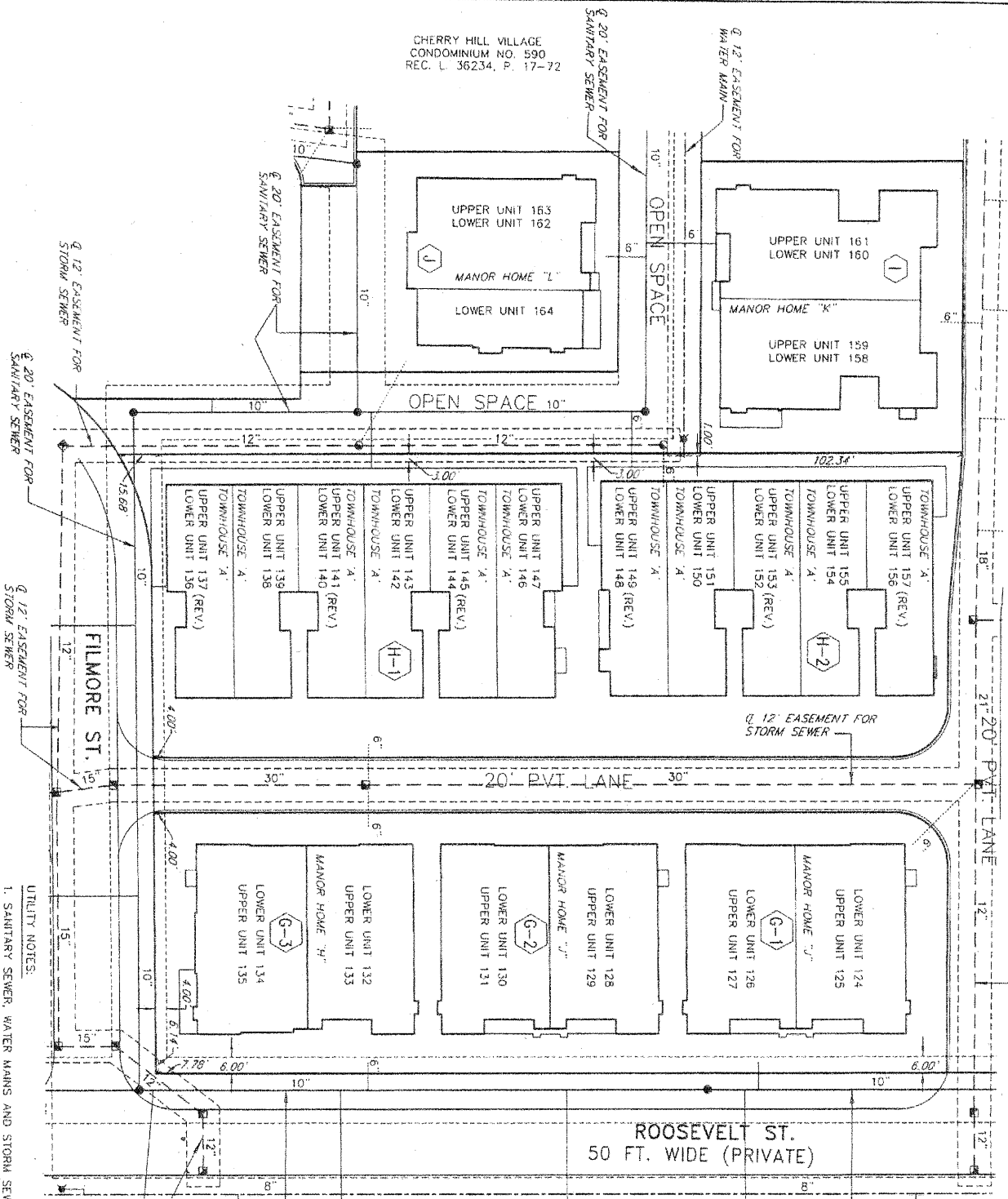


CHERRY HILL VILLAGE II

UTILITY & EASEMENT PLAN

UNITS 102 - 123
BUILDINGS E AND F

SCALE: 1" = 20' DATUM: U.S.G.S.



CHERRY HILL VILLAGE
CONDOMINIUM NO. 590
REC. L. 36234, P. 17-72

CHERRY HILL VILLAGE
CONDOMINIUM NO. 590
REC. L. 36234, P. 17-72

NOTE: SITE DOES NOT LIE WITHIN A
FEDERALLY ESTABLISHED FLOOD
PLAIN HAZARD AREA AS IDENTIFIED
BY THE FEDERAL INSURANCE
ADMINISTRATION, DEPARTMENT OF
HOUSING AND URBAN DEVELOPMENT
ACCORDING TO THE FEDERAL
EMERGENCY MANAGEMENT AGENCY
COMMUNITY PANEL NO. 260219
00048 DATED SEPTEMBER 2, 1981,
AND COMMUNITY PANEL NO. 260219
00078 DATED SEPTEMBER 2, 1981.

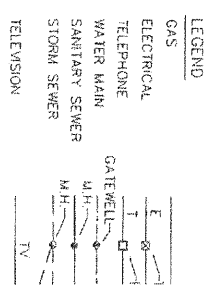
UTILITY NOTES:

1. SANITARY SEWER, WATER MAINS AND STORM SEWERS SHOWN HAVE BEEN CONSTRUCTED AS PART OF CHERRY HILL VILLAGE CONDOMINIUM.
2. ALL UTILITIES ARE UNDERGROUND.
3. TV - COMBINED WITH OTHER UTILITIES.
4. THE DETROIT EDISON COMPANY, MICHIGON, AMERITECH TELEPHONE COMPANY AND MEDIA-ONE UTILITY LOCATIONS ARE NOT AVAILABLE AND ARE TO BE SHOWN ON "AS-BUILT" DRAWINGS.
5. ALL UTILITY IMPROVEMENTS SHOWN ON THE PLAN EITHER HAVE BEEN CONSTRUCTED OR MUST BE BUILT. UNITS 1-14 MUST BE BUILT. ALL OTHER UNITS NEED NOT BE BUILT.

NOTES REGARDING EASEMENTS:

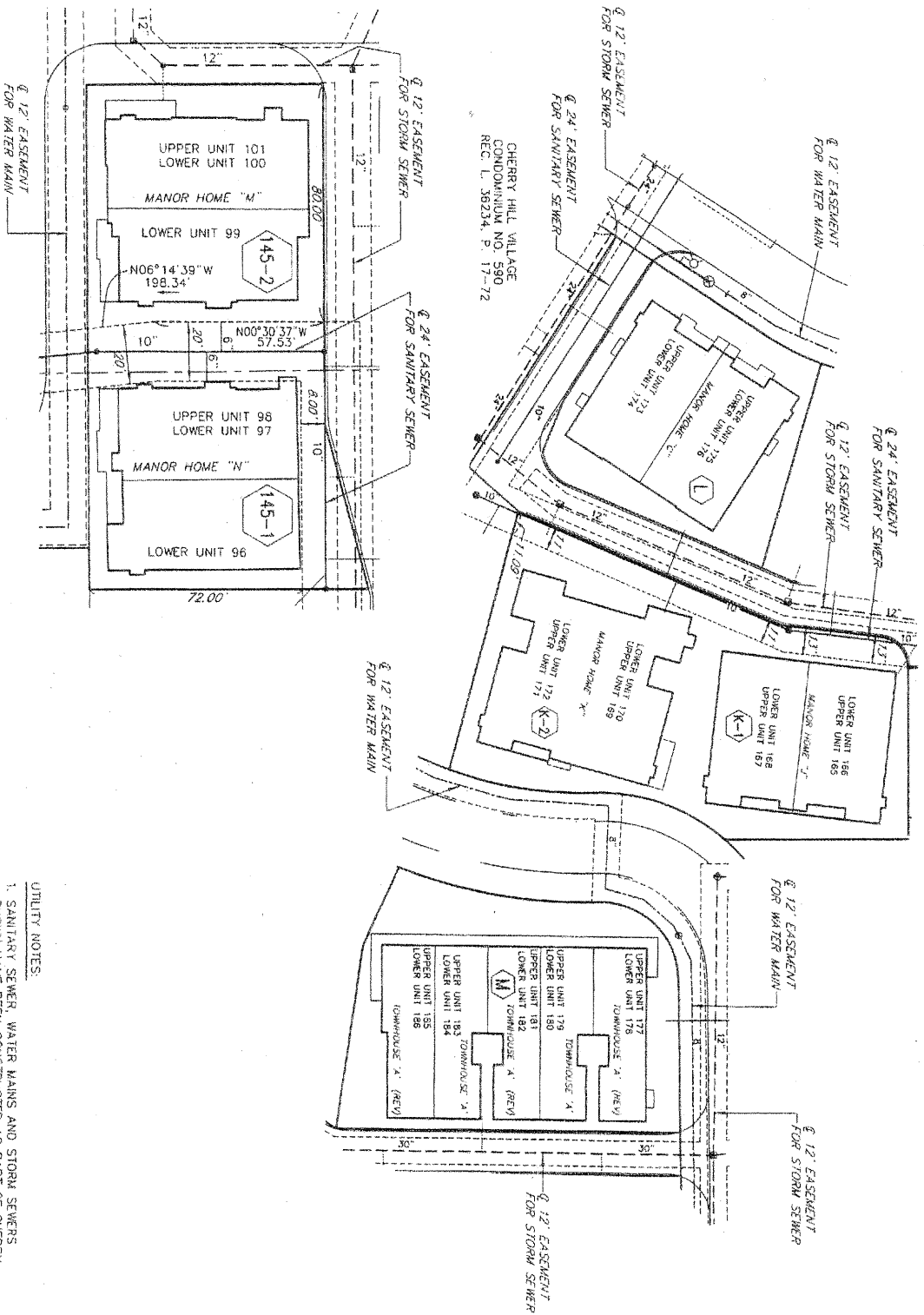
1. THE SANITARY SEWER HAS A 20" WIDE OTHERWISE NOTED.
2. THE CENTERLINE OF STORM SEWERS (S) OF THE PUBLIC ROAD IS THE CENTERLINE SAME, UNLESS OTHERWISE NOTED.
3. THE CENTERLINE OF 8" DIAMETER WATER OR A 12" WIDE EASEMENT FOR SAME A ELECTRICAL, TELEPHONE, GAS AND CABLE INFORMATION IS NOT AVAILABLE AND IS ON "AS BUILT" PLANS.
4. (A) DENOTES BUILDING LETTER

UTILITY	SOURCE OF L
GAS	MICHIGON
ELECTRICAL	DETROIT EDISON
TELEPHONE	AMERITECH
WATER MAIN	CHERRY HILL ENGINEERING
SANITARY SEWER	WARNER, CAN DATED APRIL MARCH APRIL
STORM SEWER	
T.V. CABLE	MEDIA ONE



CHERRY HILL VILLAGE II
UTILITY & EASEMENT PLAN
UNITS 124 - 164
BUILDINGS G, H, I and J
SCALE: 1" = 20'
DATE: 10/18/81

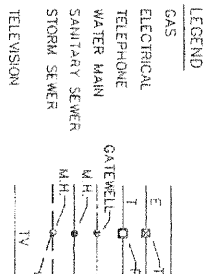
CHERRY HILL VILLAGE
 CONDOMINIUM NO. 590
 REC. L. 36234, P. 17-12



NOTE: SITE DOES NOT LIE WITHIN A
 FEDERALLY ESTABLISHED FLOOD
 PLAIN HAZARD AREA AS IDENTIFIED
 BY THE FEDERAL INSURANCE
 ADMINISTRATION, DEPARTMENT OF
 HOUSING AND URBAN DEVELOPMENT
 ACCORDING TO THE FEDERAL
 EMERGENCY MANAGEMENT AGENCY
 COMMUNITY PANEL NO. 260219
 00048 DATED SEPTEMBER 2, 1981,
 AND COMMUNITY PANEL NO. 260219
 00078 DATED SEPTEMBER 2, 1981.

UTILITY NOTES:

1. SANITARY SEWER, WATER MAINS AND STORM SEWERS SHOWN HAVE BEEN CONSTRUCTED AS PART OF CHERRY HILL VILLAGE CONDOMINIUM.
2. ALL UTILITIES ARE UNDERGROUND.
3. TV - COMBINED WITH OTHER UTILITIES.
4. THE DETROIT EDISON COMPANY, MICHIGAN AMERITECH TELEPHONE COMPANY AND MEDIA-ONE UTILITY LOCATIONS ARE NOT AVAILABLE AND ARE TO BE SHOWN ON "AS-BUILT" DRAWINGS.
5. ALL UTILITY IMPROVEMENTS SHOWN ON THE PLAN EITHER HAVE BEEN CONSTRUCTED OR MUST BE BUILT. UNITS 1-14 MUST BE BUILT. ALL OTHER UNITS NEED NOT BE BUILT.



UTILITY	SOURCE OF INFO
GAS	MICHIGAN
ELECTRICAL	DETROIT EDISON
TELEPHONE	AMERITECH
WATER MAIN	CHERRY HILL ENGINEERING & ARCHITECTURE
SANITARY SEWER	WARREN, CAN. DATED APRIL MARCH APRIL
STORM SEWER	MEDIA ONE
T.V. CABLE	MEDIA ONE

NOTES REGARDING EASEMENTS

1. THE SANITARY SEWER HAS A 20" WIDE OTHERWISE NOTED.
2. THE CENTERLINE OF STORM SEWERS (8") OF THE PUBLIC ROAD IS THE CENTERLINE SAME, UNLESS OTHERWISE NOTED.
3. THE CENTERLINE OF 8" DIAMETER WATER OF A 12" WIDE EASEMENT FOR SAME. A ELECTRICAL, TELEPHONE, GAS AND CABLE INFORMATION IS NOT AVAILABLE AND IS ON "AS BUILT" PLANS.

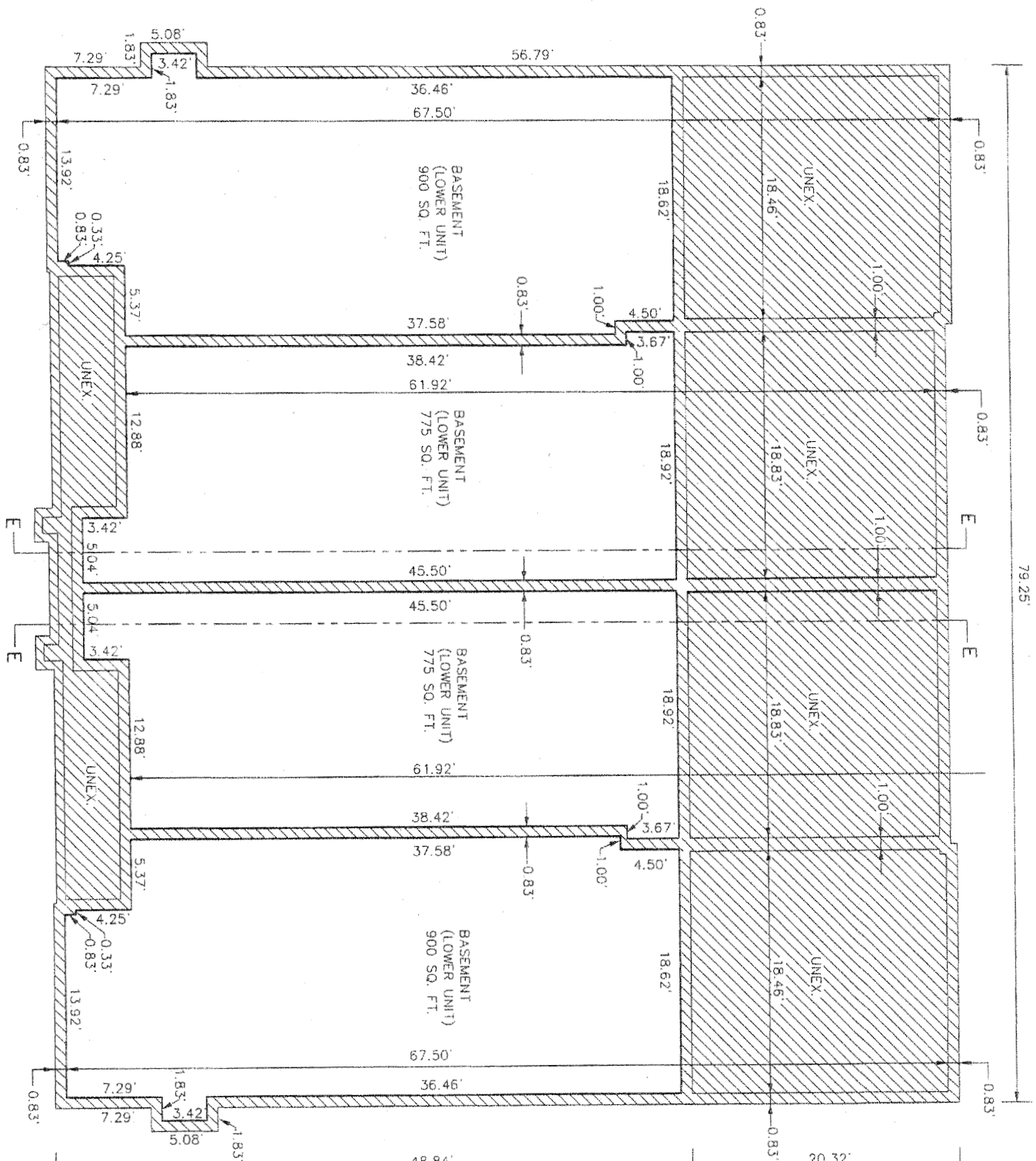
(A) DENOTES BUILDING LETTER



CHERRY HILL VILLAGE II
 UTILITY & EASEMENT PLAN
 UNITS 165-186 & 96-101
 BUILDINGS K, L, M & 145

SCALE: 1" = 20' DATUM: USGS.

PRO
 JOB NO.
 DATE
 INCH



MANOR HOME BUILDING J
FOUNDATION PLAN

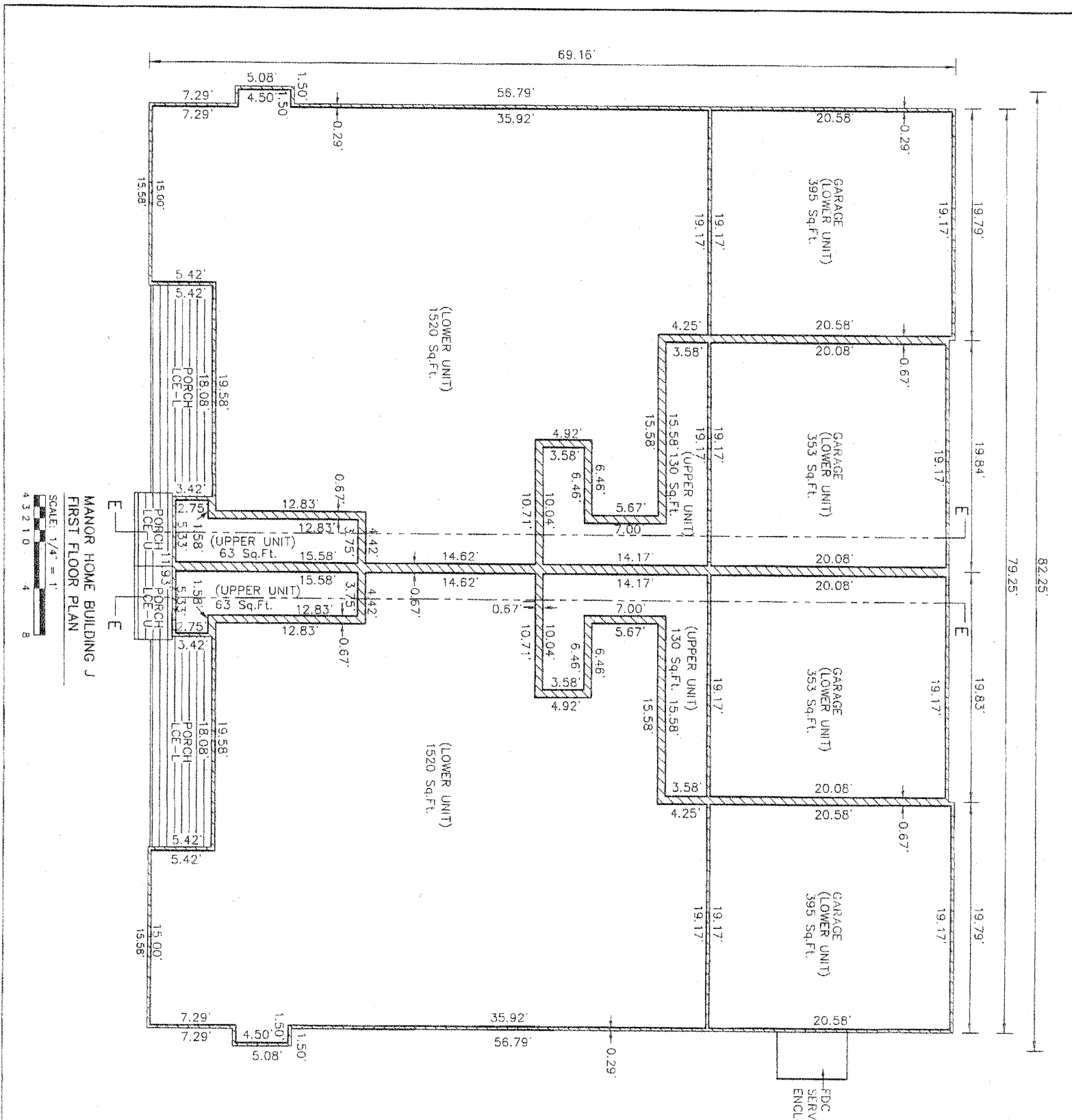
SCALE: 1/4" = 1'
4 3 2 1 0 4 8

CHERRY HILL VILLAGE II

MANOR HOME BUILDING J
FOUNDATION PLAN

SCALE: 1/4" = 1'
DATUM: U.S.G.S.

- LEGEND
- GENERAL CC
 - LIMITED COM
 - UNITS OF C
 - UNEKAVALL
 - LCE-U
 - LCE-L
 - LIMITED COM
 - ALL INTERIO
 - UNLESS OT
 - ALYERIK
 - OTHERWISE
 - PORCH MAY
 - BRICK PAV
 - SQUARE FO
 - RESIDENTI
 - SOLD WITH
 - EXTERIOR DI



MANOR HOME BUILDING J
FIRST FLOOR PLAN

SCALE: 1/4" = 1'
4 3 2 1 0 4 8

CHERRY HILL VILLAGE II
MANOR HOME BUILDING J
FIRST FLOOR PLAN

SCALE: 1/4" = 1'
DATE: U.S.G.S.

LEGEND

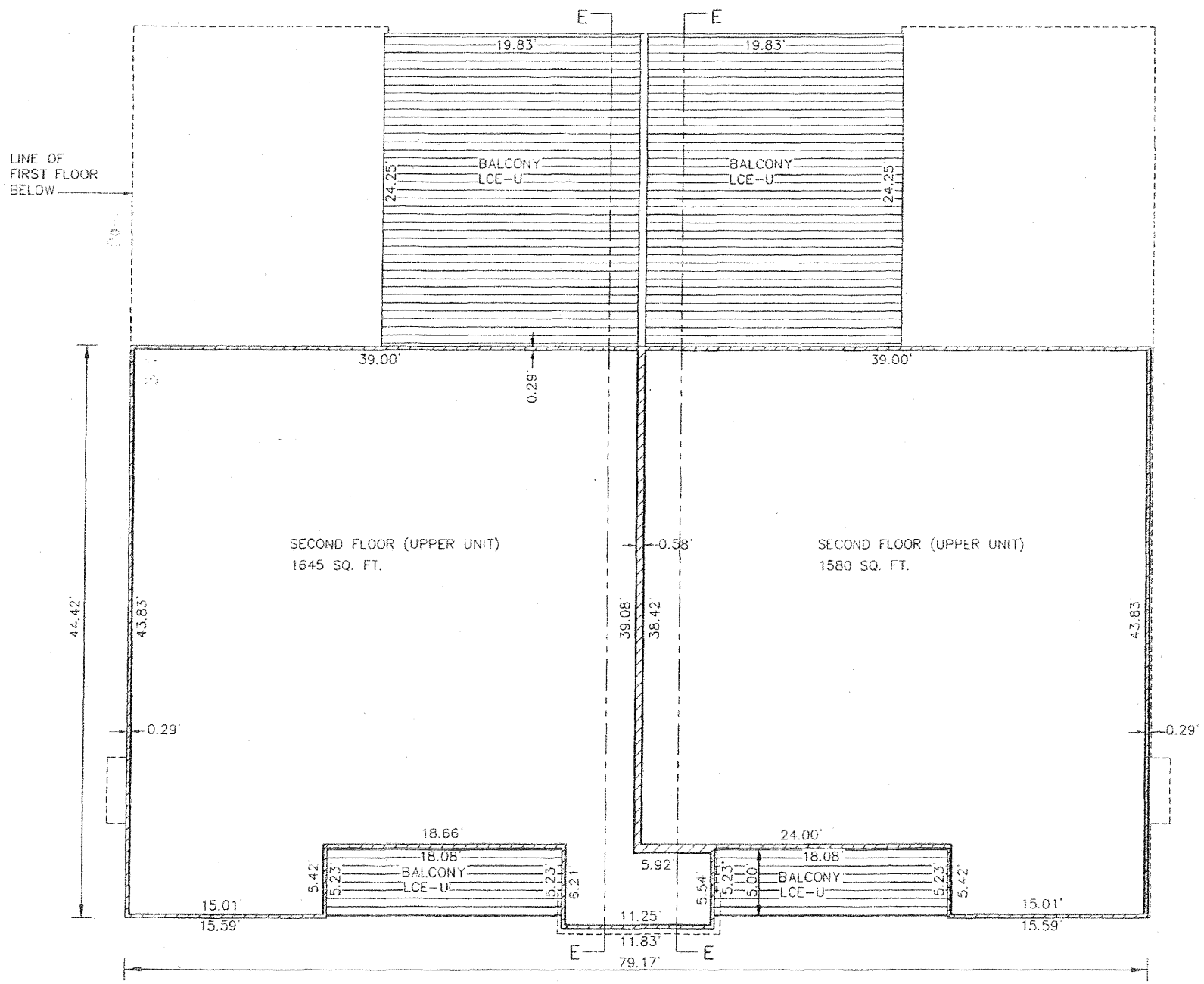
[Hatched Box]	GENERAL C
[Horizontal Lines Box]	LIMITED CO
[Vertical Lines Box]	LIMITS OF
[Diagonal Lines Box]	UNEXCAVATED
[Dotted Box]	LIMITED CON
[Cross-hatched Box]	LIMITED CON

ALL INTERIOR UNLESS OTHERWISE NOTED
ALL EXTERIOR PORCH PAVEMENT SHALL BE BRICK PAVEMENT
RESIDENTIAL SOLID WITH EXTERIOR

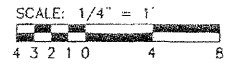
LEGEND

	GENERAL CO
	LIMITED COA
	LIMITS OF C
UNEX.	UNEXCAVATI
LCE-U	LIMITED COM
LCE-L	LIMITED COM

ALL INTERIO
UNLESS OTH
ALL EXTERI
OTHERWISE
PORCH MAY
BRICK PAVE
SQUARE FO
IS BASED O
RESIDENTIAL
SOLD WITH
EXTERIOR DI



MANOR HOME BUILDING J
SECOND FLOOR PLAN



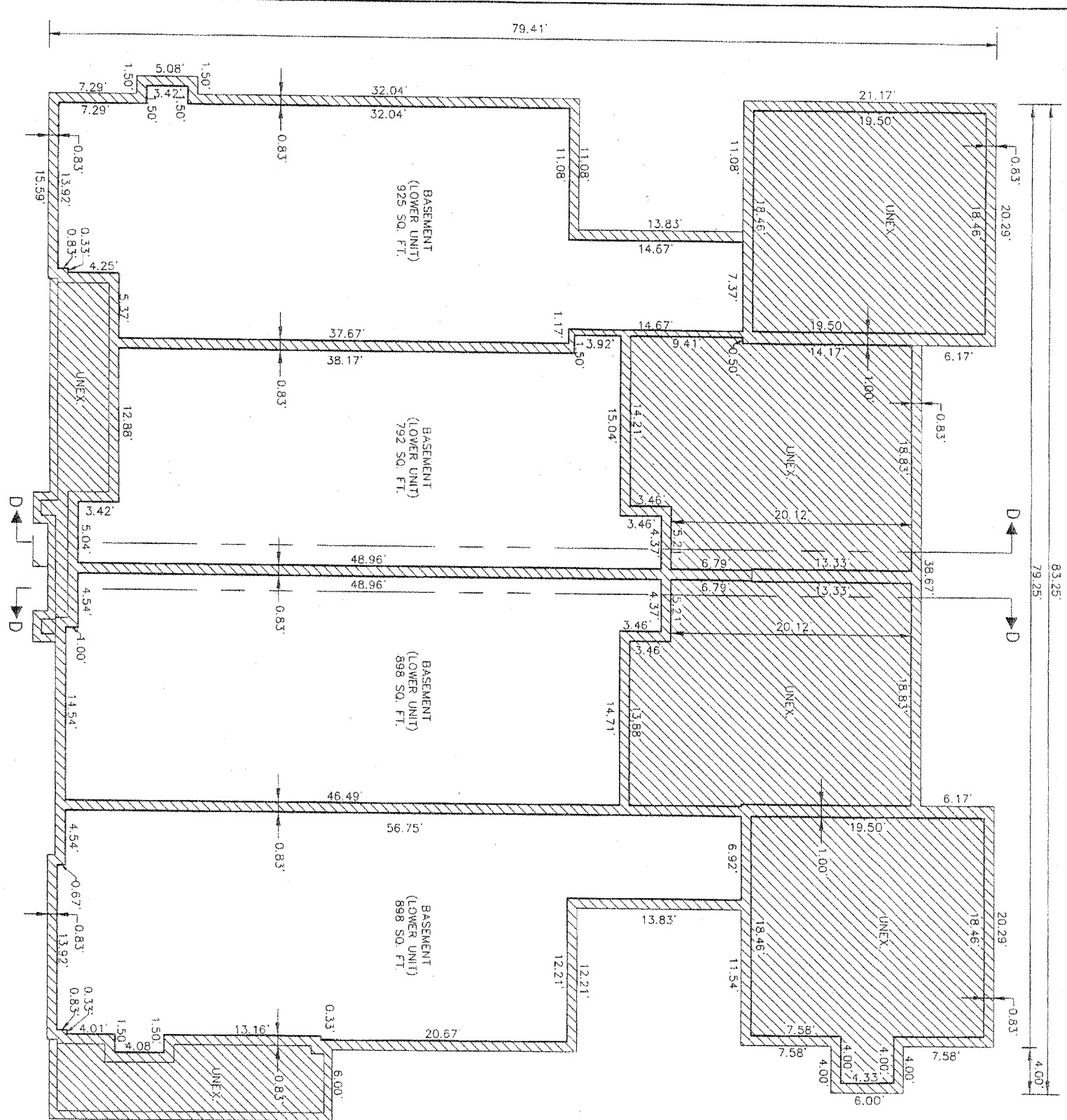
CHERRY HILL VILLAGE II

MANOR HOME BUILDING J
SECOND FLOOR PLAN

SCALE: 1/4" = 1' DATUM: U.S.C.S.

PROPOS
JOB NO
PLAN P
SHEET

P:\Arch Projects\2020\16007\ManorHomeJ.dwg, 10/22/2020 11:33:54 AM, user



LEGEND

- GENERAL COMMON
- LIMITED COMMON
- LIMITS OF COMMON
- UNEXCAVATED
- LIMITED COMMON
- LIMITED COMMON
- ALL INTERIOR UNLESS OTHER
- ALL EXTERIOR UNLESS OTHER
- OTHERWISE NOT PORCH MAY BE BRICK PAVERS
- SQUARE FOOTAGE BASED ON RESIDENTIAL RE SOLD WITH SQUARE EXTERIOR DIMET

SCALE: 1/4" = 1'

MANOR HOME BUILDING K
FOUNDATION PLAN

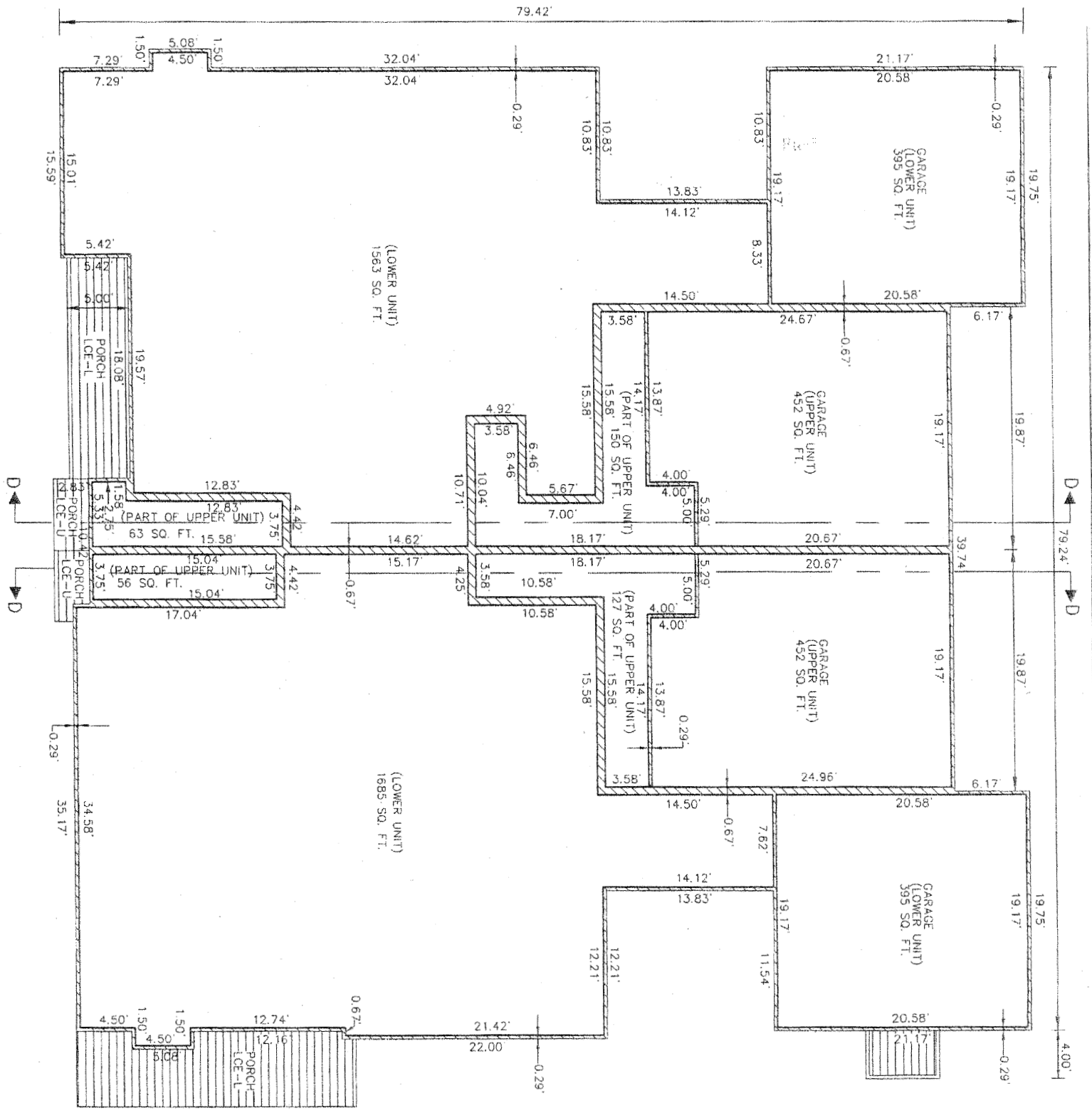
CHERRY HILL VILLAGE II

PROPOSED

SCALE: 1/4" = 1'

DATE: 12/10/10

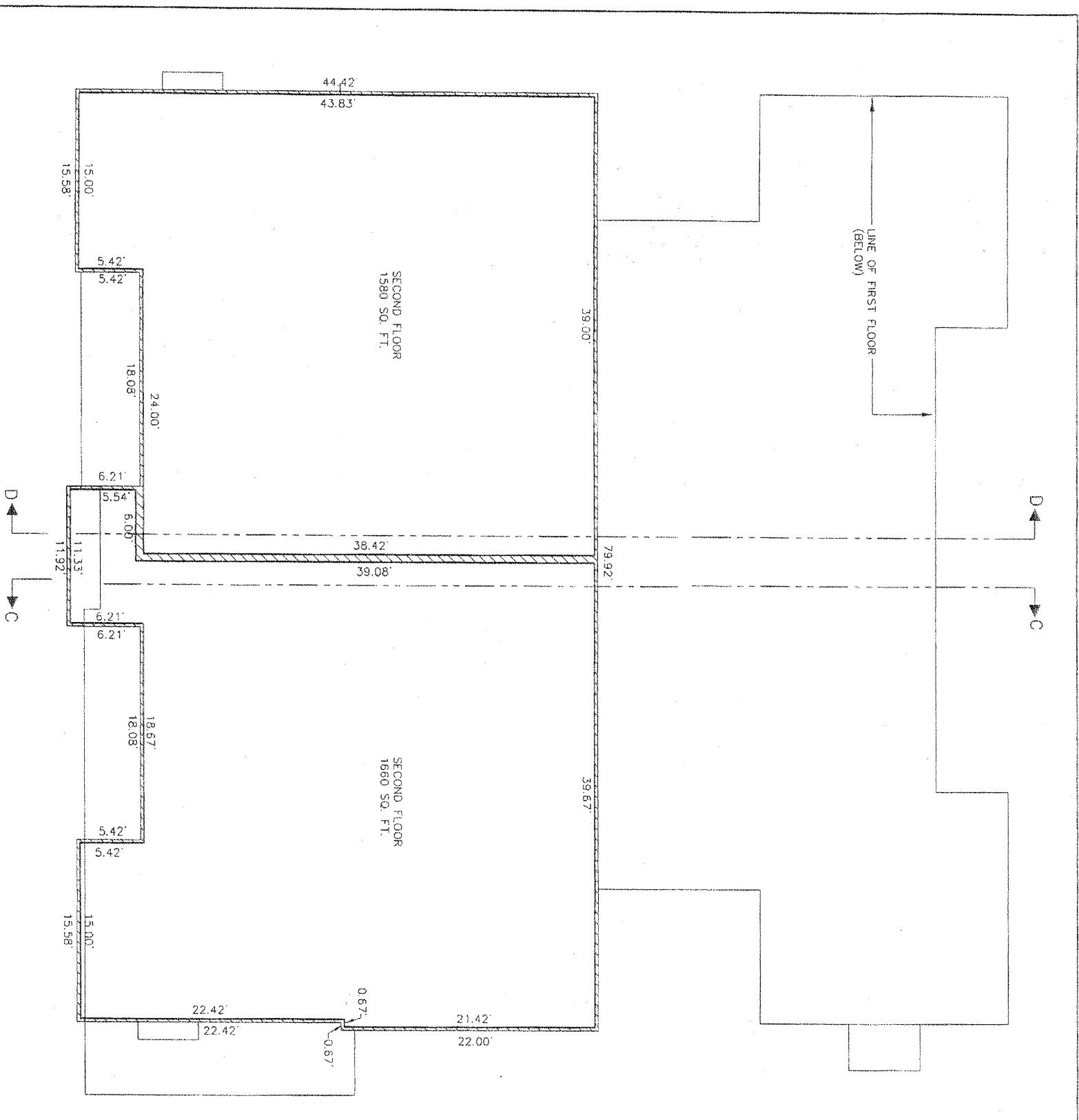
BY: [Signature]



- LEGEND**
- GENERAL COMM.
 - LIMITED COMMON
 - LIMITS OF OWN.
 - UNEXCAVATED
 - LCE-U
 - LCE-L
 - LIMITED COMMON
 - ALL INTERIOR, UNLESS OTHERWISE NOTED
 - ALL EXTERIOR, UNLESS OTHERWISE NOTED
 - PORCH MAY BE BRICK PAVEMENT
 - SQUARE FOOTAGE BASED ON 1" RESIDENTIAL RE SOLD WITH SOL EXTERIOR DIMEN

CHERRY HILL VILLAGE II
 MANOR HOME BUILDING K
 FIRST FLOOR PLAN
 SCALE: 1/4" = 1' DATUM: U.S.G.S.

DATE	BY
10/1/01	MS



- LEGEND**
- GENERAL COMMON
 - LIMITED COMMON
 - PARTS OF OWNED
 - UNEXCAVATED
 - LIMITED COMMON
 - LIMITED COMMON

ALL INTERIOR WALLS UNLESS OTHERWISE NOTED OTHERWISE NOTED BRICK PAVERS. SQUARE FOOTAGE IS BASED ON THE RESIDENTIAL RECORD WITH SQUARE EXTERIOR DIMEN

SCALE: 1/4" = 4' 3 2 1 0

**MANOR HOME BUILDING 3
SECOND FLOOR PLAN**

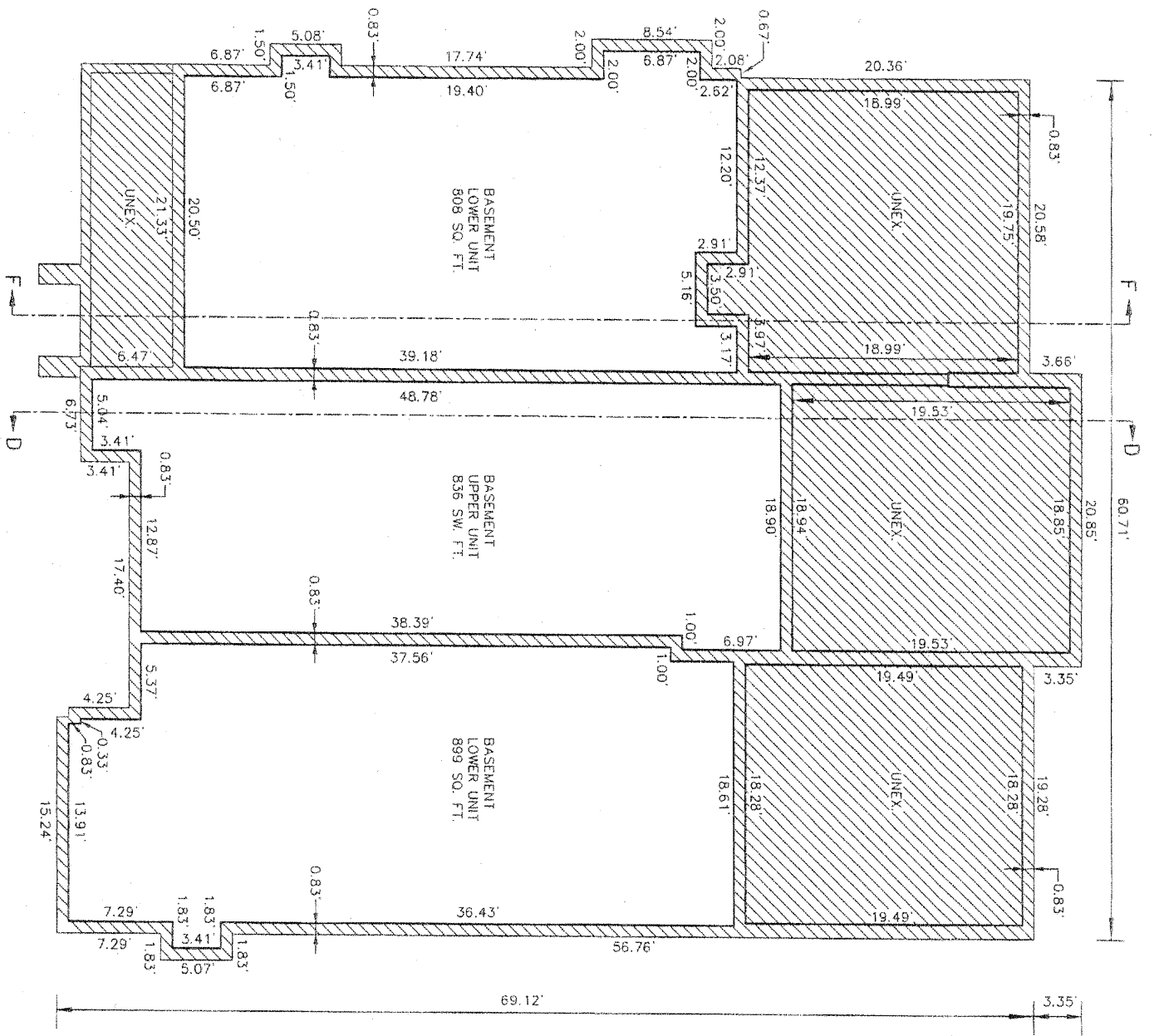
CHERRY HILL VILLAGE II

**MANOR HOME BUILDING K
SECOND FLOOR PLAN**

SCALE: 1/4" = 1' UNIFORM U.S.S.G.S.

PROPOS

DATE	NO.



MANOR HOME BUILDING L
FOUNDATION PLAN

SCALE 1/4" = 1'
4 3 2 1 0 4 8

LEGEND

	GENERAL COMMON
	LIMITED COMMON
	LIMITS OF OWNERSHIP
UNEX.	UNEXCAVATED
LCE-U	LIMITED COMMON
LCE-L	LIMITED COMMON

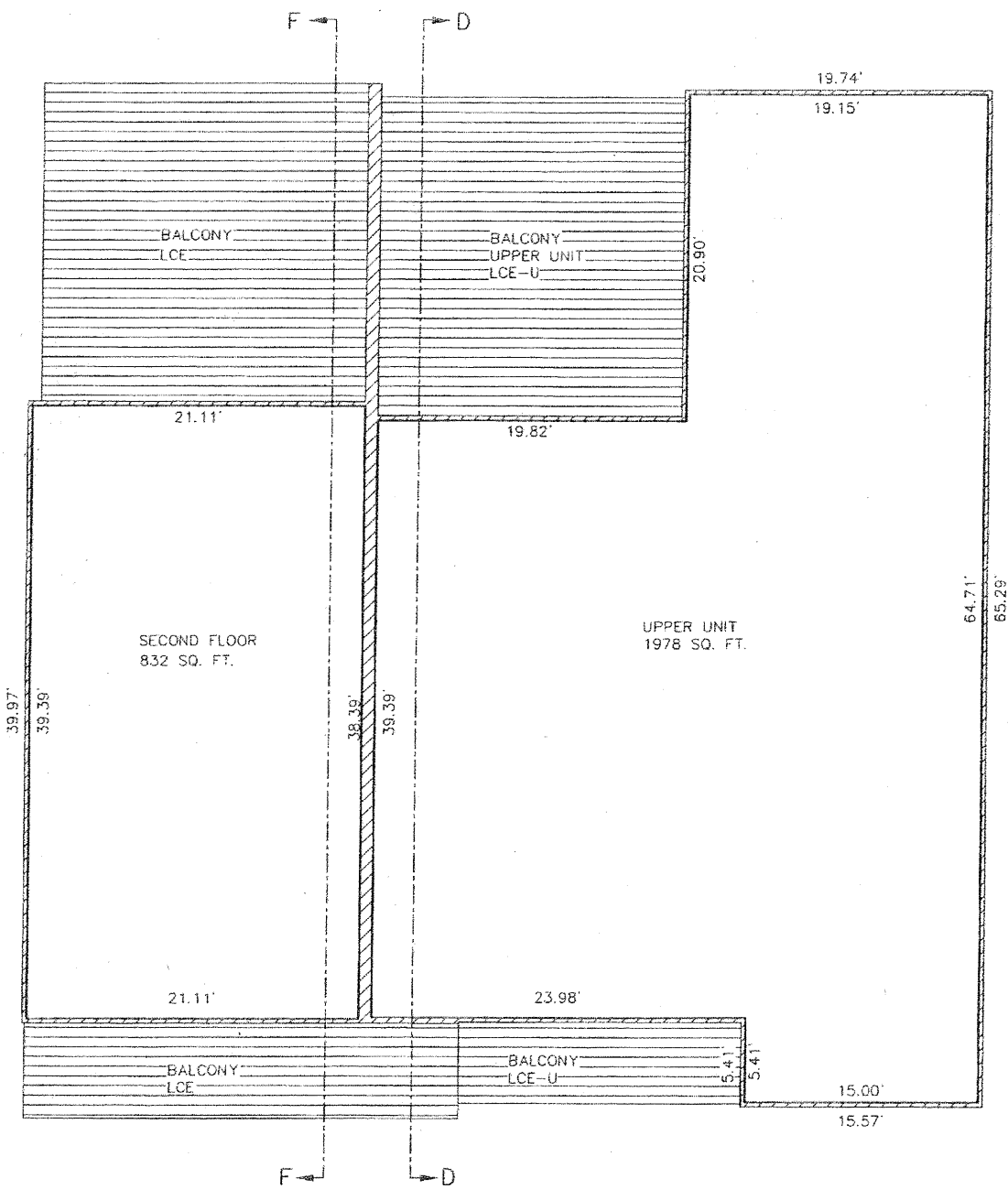
ALL INTERIOR & UNLESS OTHERWISE SPECIFIED, ALL EXTERIOR FINISHES SHALL BE AS SHOWN ON THE ARCHITECTURAL DRAWINGS. BRICK PAVEMENTS SHALL BE SQUARE FOOTING IS BASED ON THE RESIDENTIAL RE SOLD WITH SOU EXTERIOR DIMEN

CHERRY HILL VILLAGE II

MANOR HOME BUILDING L
FOUNDATION PLAN

SCALE 1/4" = 1' DATE: 05.03.05

NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMIT

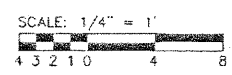


LEGEND

	GENERAL COMMON
	LIMITED COMMON
	LIMITS OF OWNERSHIP
	UNEXCAVATED
	LIMITED COMMON
	LIMITED COMMON

ALL INTERIOR WORK UNLESS OTHERWISE NOTED
 ALL EXTERIOR WORK UNLESS OTHERWISE NOTED
 PORCH MAY BE BRICK PAVERS.
 SQUARE FOOTAGE IS BASED ON TYPICAL RESIDENTIAL REQUIREMENTS.
 SOLD WITH SQUARE EXTERIOR DIMENSIONS.

MANOR HOME BUILDING L
 SECOND FLOOR PLAN



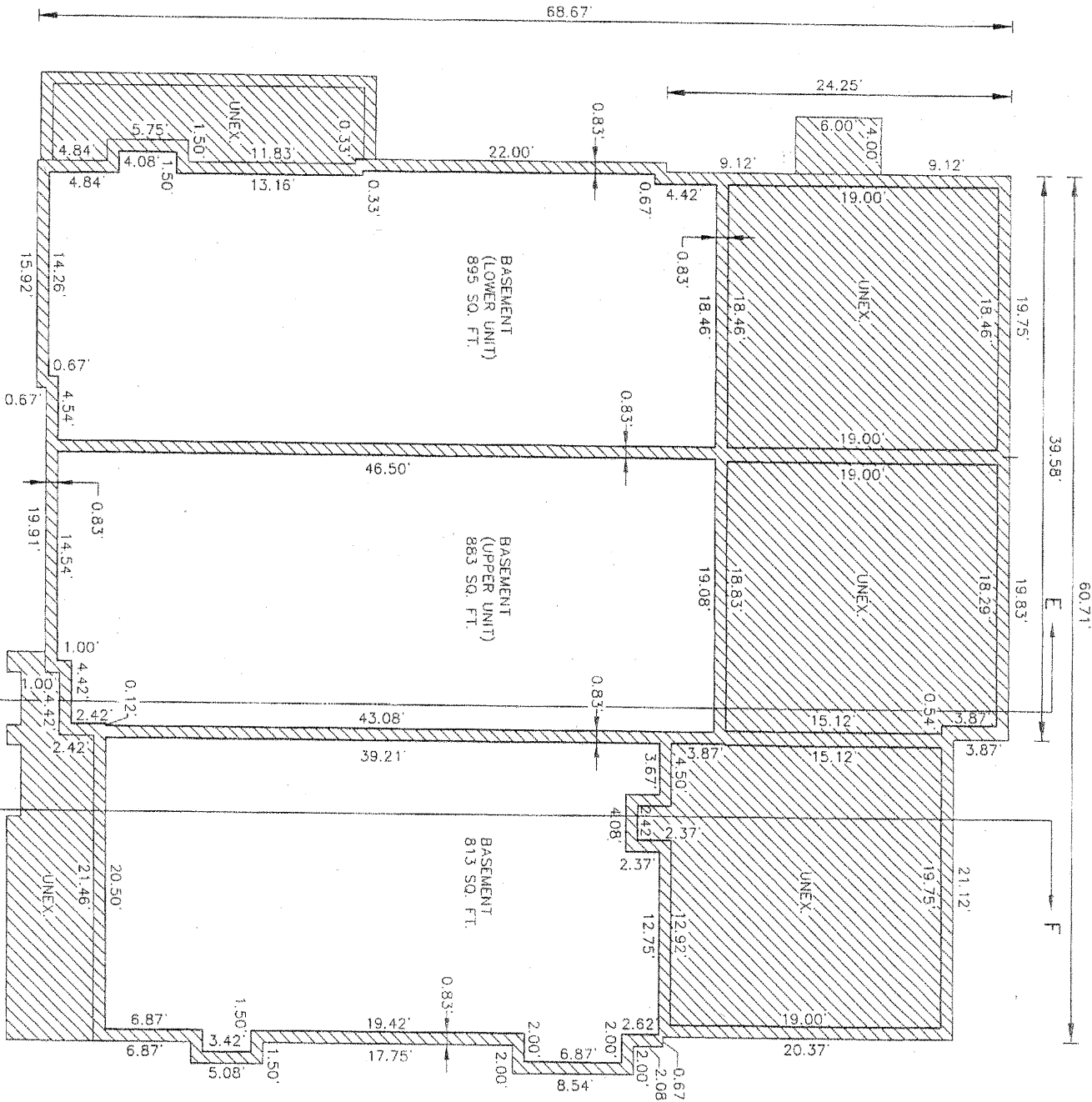
CHERRY HILL VILLAGE II PROPOS

MANOR HOME BUILDING L
 SECOND FLOOR PLAN

SCALE: 1/4" = 1' DATUM: U.S.G.S.

JOB NO. _____
 PLAN NO. _____
 SHEET NO. _____

Handwritten signature



CHERRY HILL VILLAGE II
 MANOR HOME BUILDING 'M'
 FOUNDATION PLAN

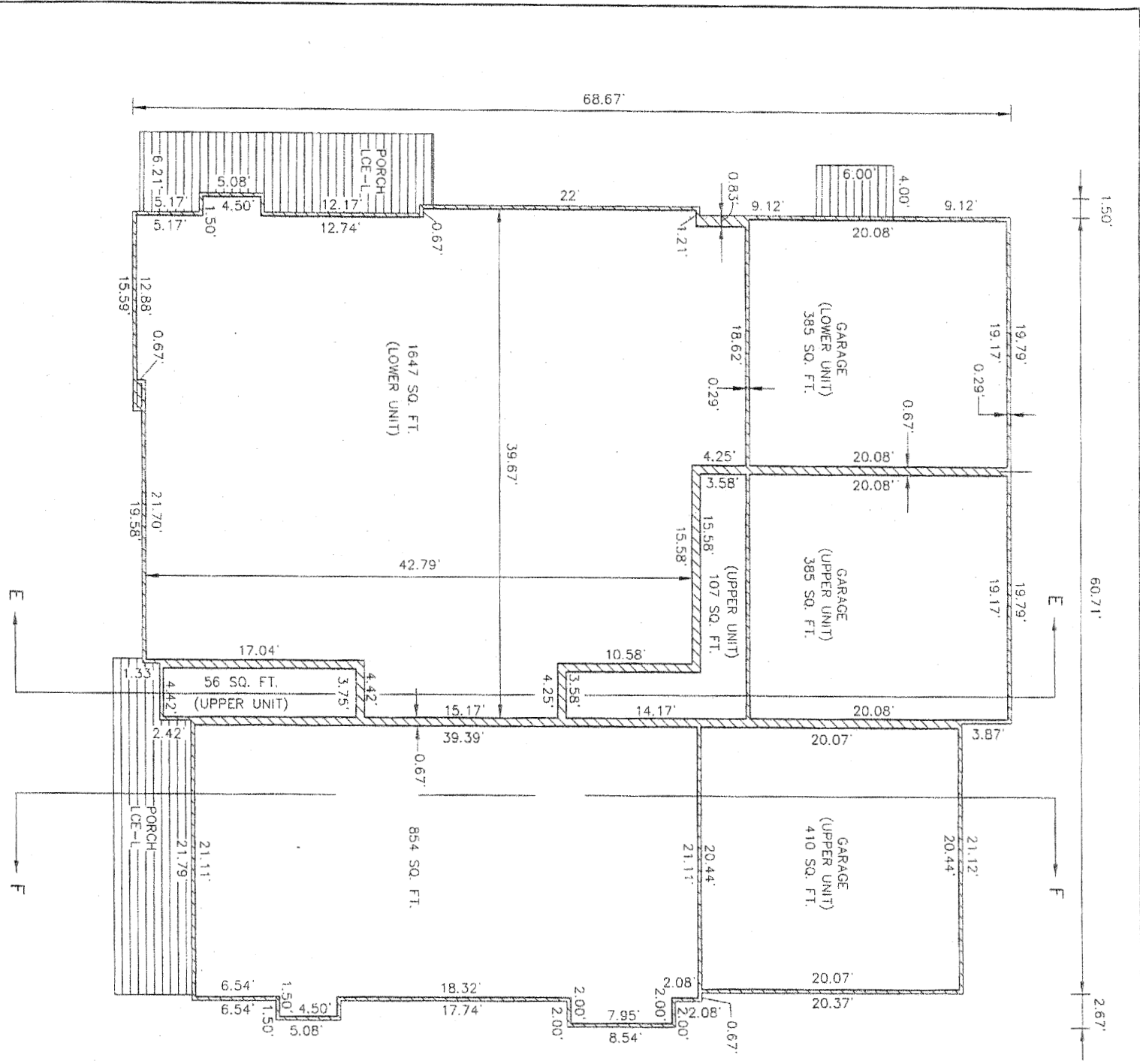
PROPOS
 SCALE: 1/4"=1'
 DATUM:
 MANOR HOME BUILDING 'M'
 FOUNDATION PLAN

LEGEND

[Hatched Pattern]	GENERAL COM
[Horizontal Line Pattern]	LIMITS OF OWN
[Vertical Line Pattern]	UNEXCAVATED
[Diagonal Line Pattern]	LIMITED COMAC
[Dotted Pattern]	LIMITED COMAC

ALL INTERIOR UNLESS OTHER
 ALL EXTERIOR OTHERWISE
 PORCH MAY BE BRICK PAVEMENT
 SQUARE FOOTING BASED ON
 RESIDENTIAL CODE WITH
 SOLO WITH SE EXTERIOR DIM

SCALE: 1/4"
 4 3 2 1 0



MANOR HOME BUILDING 'M'
FIRST FLOOR PLAN

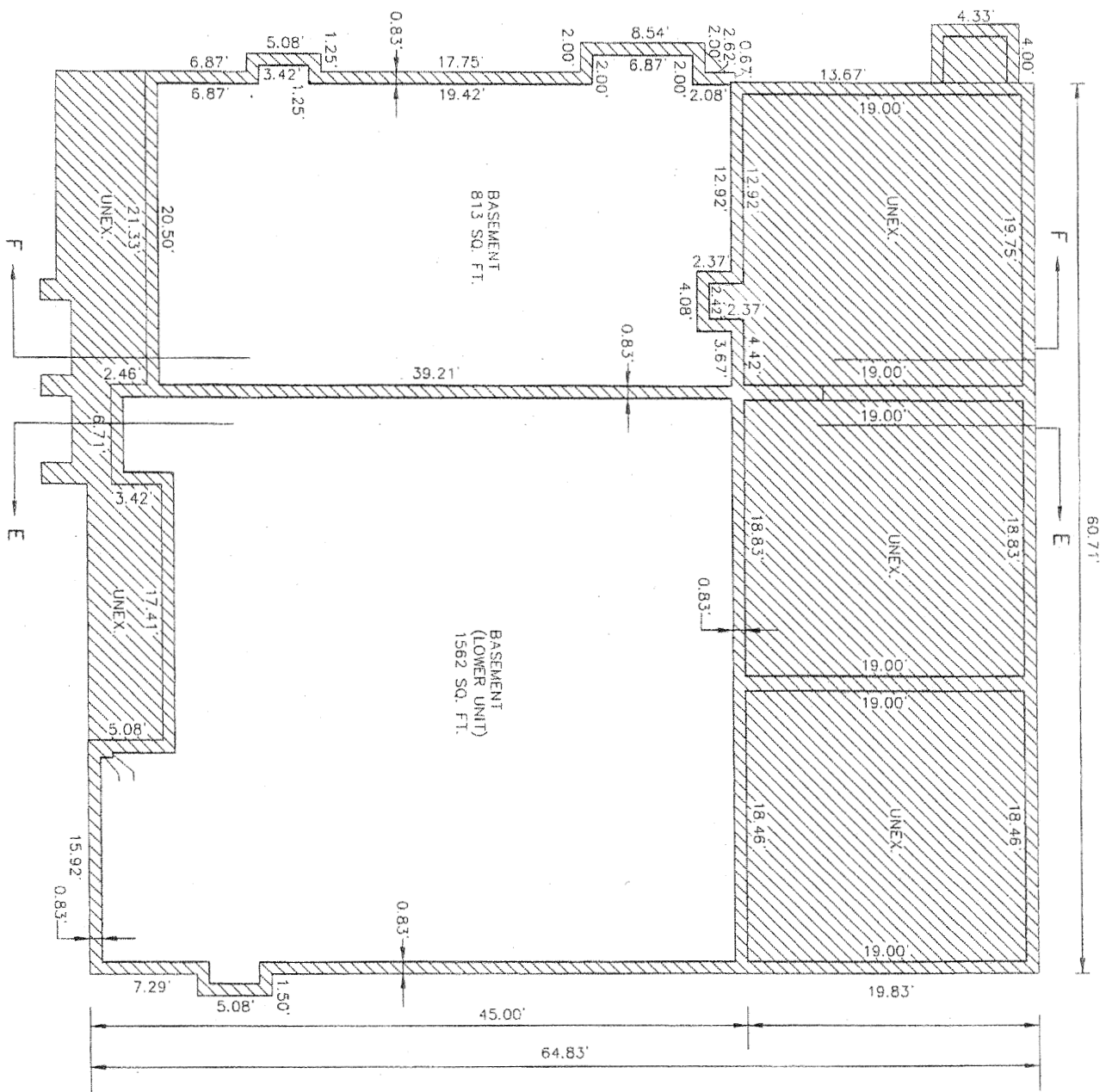
CHERRY HILL VILLAGE II

MANOR HOME BUILDING 'M'
FIRST FLOOR PLAN

SCALE: 1/4" = 1' DATUM:

LEGEND
 GENERAL COM.
 LIMITED COM.
 UNITS OF OM.
 UNEXPOSED/UNLIMITED COM.
 LIMITED COM.
 ALL INTERIOR UNLESS OTHERWISE NOTED
 ALL EXTERIOR UNLESS OTHERWISE NOTED
 PORCH PAVEMENT IS SQUARE FOOTING BASED ON RESIDENTIAL SOLID WITH EXTERIOR DIM

SCALE 1/4"
 4 3 2 1 0



LEGEND

[Hatched Pattern]	GENERAL COM
[Hatched Pattern]	LIMITED COMB
[Hatched Pattern]	LIMITS OF OWN
[Hatched Pattern]	UNEXCAVATED
[Hatched Pattern]	LIMITED COMMO
[Hatched Pattern]	LIMITED COMMO
[Hatched Pattern]	UNEEX.
[Hatched Pattern]	LOE-U
[Hatched Pattern]	LOE-L

ALL INTERIOR UNLESS OTHER ALL EXTERIOR OTHERWISE NC PORCH MAY E BRICK PAVERS SQUARE FOOT IS BASED ON RESIDENTIAL F SOLD WITH SC EXTERIOR DIM

SCALE: 1/4" = 1'-0"

MANOR HOME BUILDING 'N'
FOUNDATION PLAN

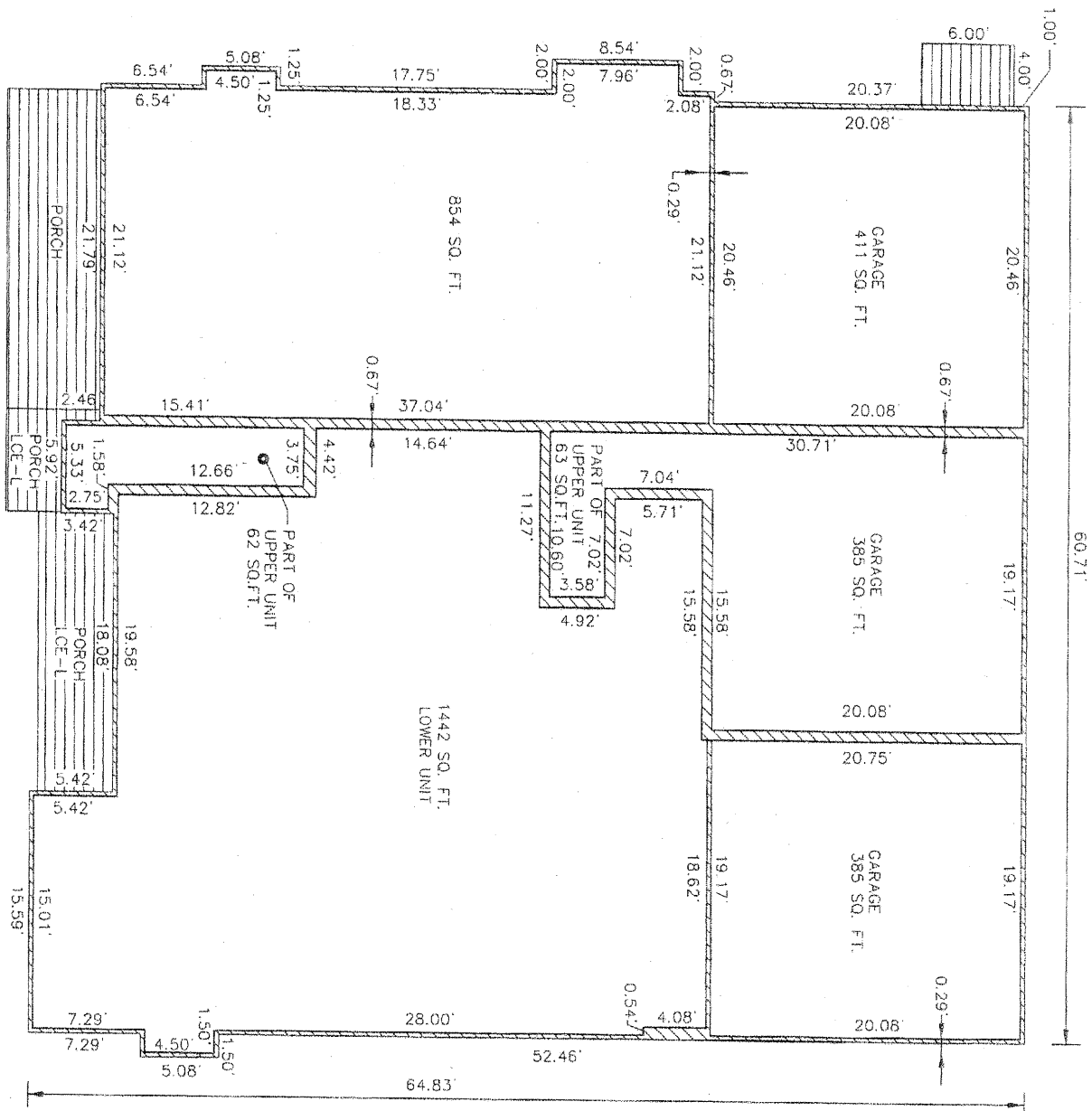
MANOR HOME BUILDING 'N'
FOUNDATION PLAN

SCALE: 1/4"=1'

DATUM:

JOB	DATE
REV	
NO.	

ERUPRO



LEGEND

[Hatched Box]	GENERAL COA
[Dotted Box]	LIMITED COAM
[Horizontal Lines Box]	LIMITS OF OW
[Vertical Lines Box]	UNEXCAVATED
[Diagonal Lines Box]	LIMITED COAM
[Cross-hatched Box]	LIMITED COAM

ALL INTERIOR UNLESS OTHERWISE NOTED
 ALL EXTERIOR UNLESS OTHERWISE NOTED
 PORCH MAY BE BRICK PAVED
 SQUARE FOOTAGE IS BASED ON RESIDENTIAL SOLID WITH EXTERIOR DIM

SCALE: 1/4" = 1'-0"
 4 3 2 1 0

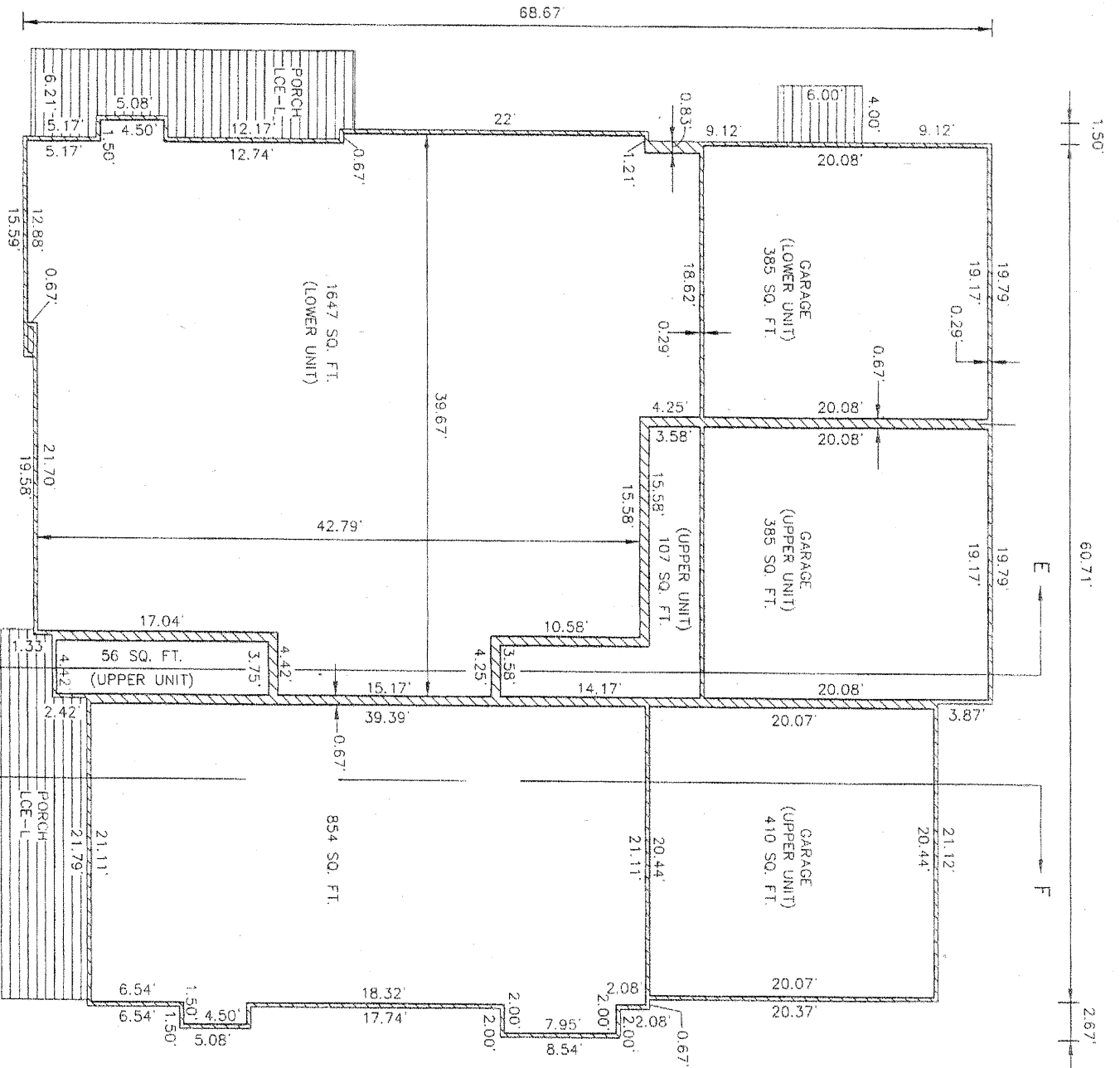
MANOR HOME BUILDING 'N'
 FIRST FLOOR PLAN

CERRY HILL VILLAGE II

MANOR HOME BUILDING 'N'
 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0" DATE:

JOB N
 PLAN
 DATE



CHERRY HILL VILLAGE II
 MANOR HOME BUILDING 'N'
 SECOND FLOOR PLAN
 SCALE: 1/4" = 1' DATE: _____

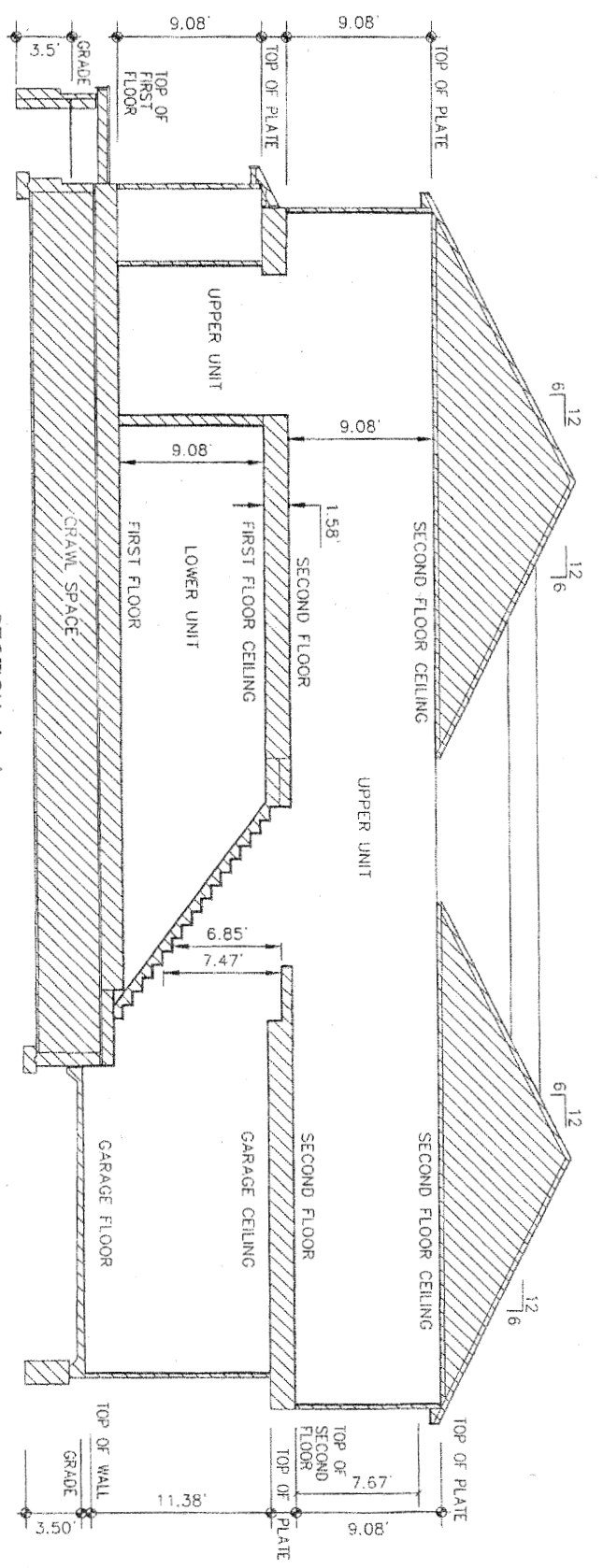
MANOR HOME BUILDING 'N'
 SECOND FLOOR PLAN

LEGEND

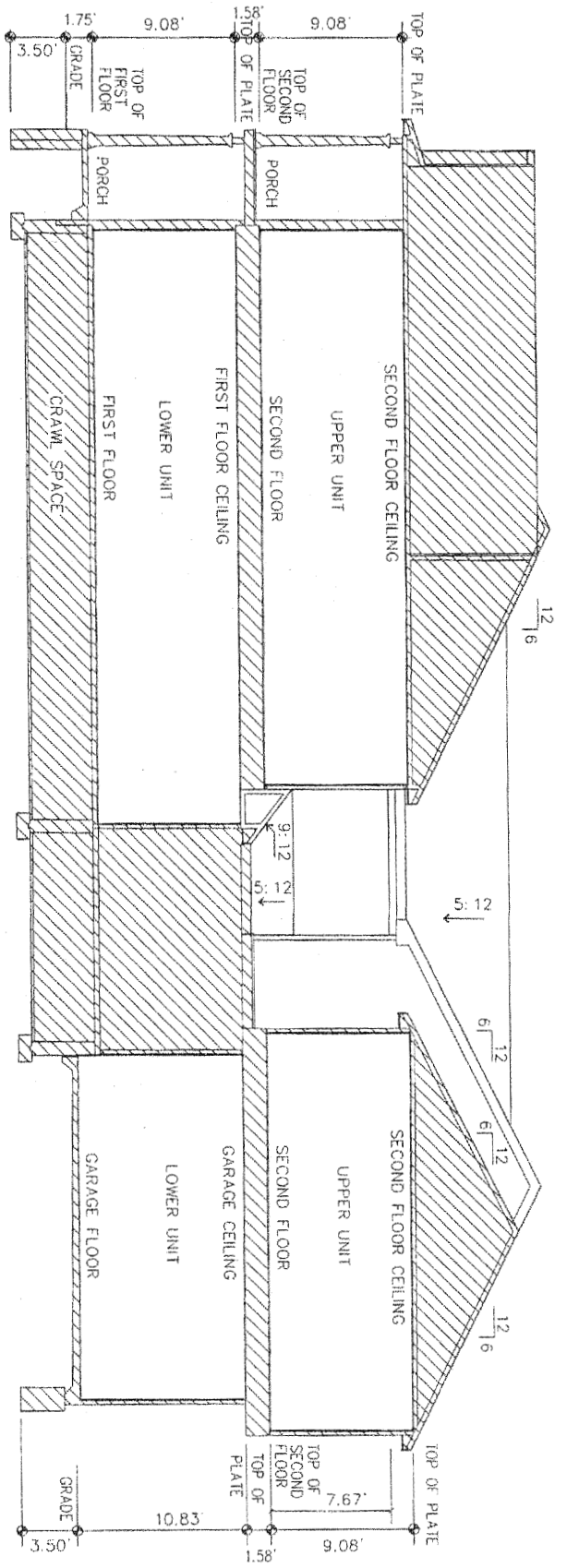
- GENERAL COM
- LIMITED COM
- UNEX.
- LCE-U
- LCE-L

ALL INTERIOR UNLESS OTHERWISE NOTED
 ALL EXTERIOR DIMENSIONS UNLESS OTHERWISE NOTED
 PORCH MAY BE BRICK PAVED
 SQUARE FOOT IS BASED ON RESIDENTIAL SOLID WITH SC EXTERIOR DIM

SCALE: 1/4"
 4 3 2 1 0



SECTION A-A
SCALE: 1/4" = 1'



SECTION B-B
SCALE: 1/4" = 1'

LEGEND
 GEN
 LIMIT

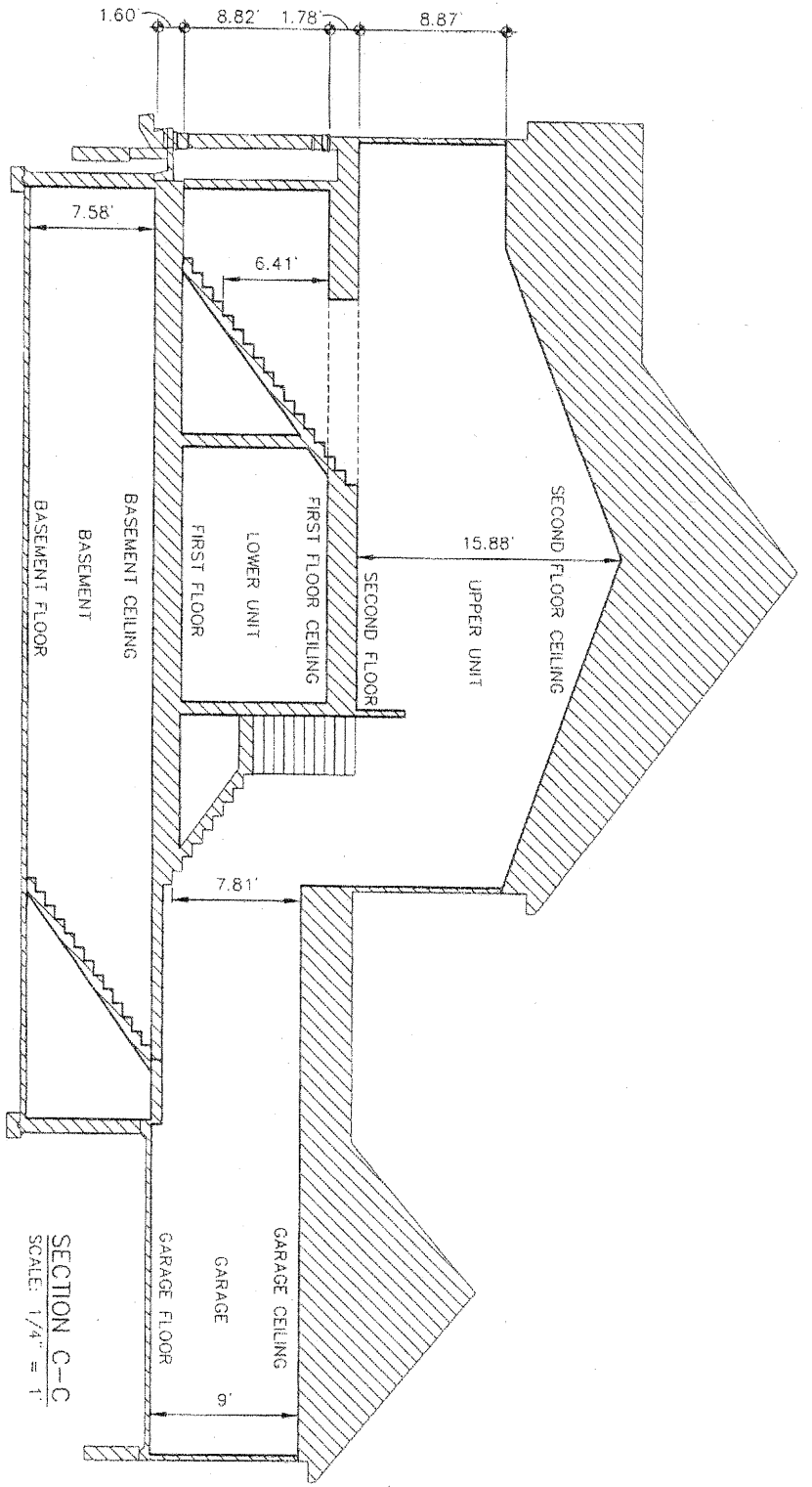
NOTE: REFER TO SHEET 9
 OFFSET PLAN FOR THE SE
 GARAGE FLOOR, AND BAS
 FOR EACH UNIT.



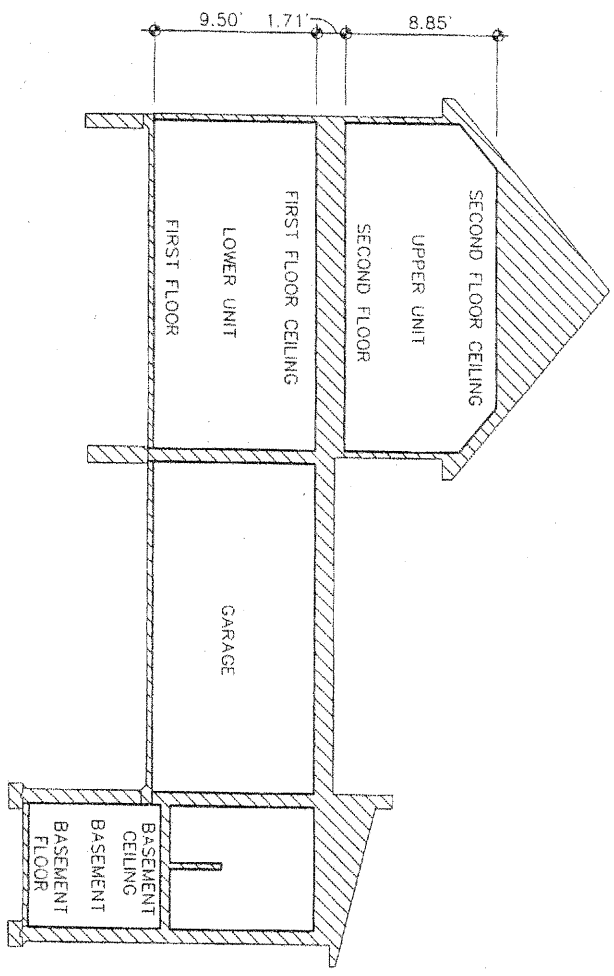
LEGEND



ALL OWNERSHIP LINES ARE
 NOTE: REFER TO SHEET 9,
 OFFSET PLAN FOR THE SE
 GARAGE FLOOR, AND BASE
 FOR EACH UNIT.



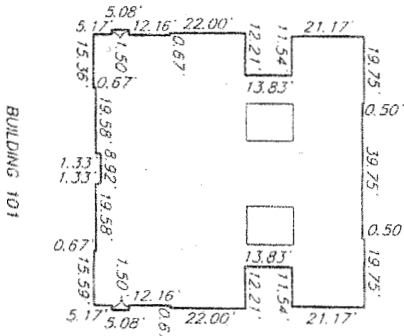
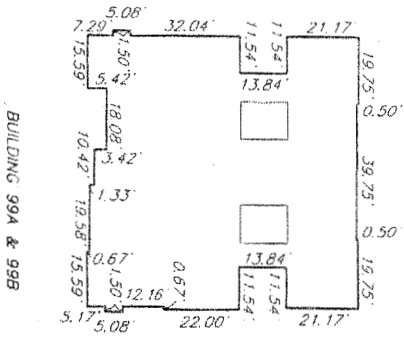
SECTION C-C
 SCALE: 1/4" = 1'



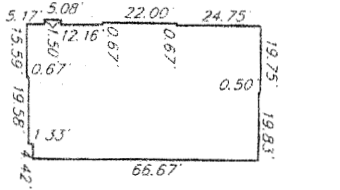
SECTION D-D
 SCALE: 1/4" = 1'



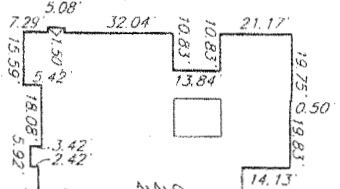
SCALE: ONE INCH = 20 FEET
 20 15 10 5 0



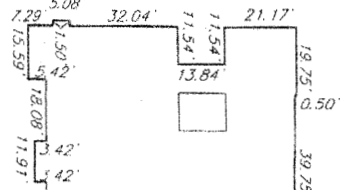
BUILDING 41A



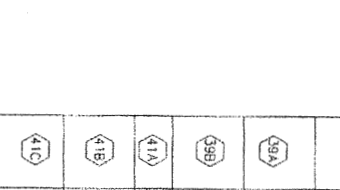
BUILDING 41B



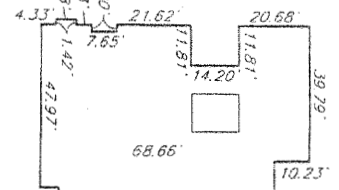
BUILDING 41C



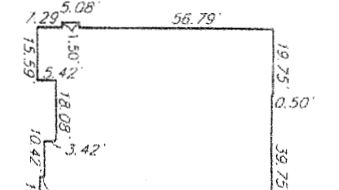
BUILDING 41D



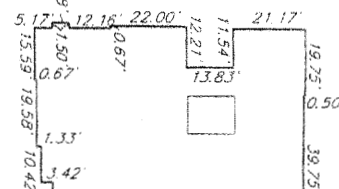
BUILDING 2



BUILDINGS 7A & 7B



BUILDING 39A & 39B



BUILDING NUMBER	UNIT NO.	UNIT TYPE	GARAGE FLOOR ELEV. U.S.G.S. DATUM	FIRST FLOOR ELEV. U.S.G.S. DATUM	SECOND FLOOR ELEV. U.S.G.S. DATUM
2	15	MANOR HOME B	32.00	34.33	44.99
	16	MANOR HOME B	32.00	34.33	44.99
	17	MANOR HOME B	32.50	34.33	44.99
7A	19	MANOR HOME C (REV)	30.50	32.00	42.66
	20	MANOR HOME C (REV)	30.50	32.00	42.66
7B	23	MANOR HOME C	30.50	32.00	42.66
	24	MANOR HOME C	30.50	32.00	42.66
99A	72	MANOR HOME I	16.65	18.60	30.26
	73	MANOR HOME I	16.65	18.60	30.26
99B	76	MANOR HOME I	16.15	19.10	29.76
	77	MANOR HOME I	16.15	19.10	29.76
41A	55	MANOR HOME E	21.30	24.25	34.91
	56	MANOR HOME E	21.30	24.25	34.91
41B	57	MANOR HOME F	21.10	24.05	34.71
	58	MANOR HOME F	21.10	24.05	34.71
41C	61	MANOR HOME F	20.75	23.70	34.36
	62	MANOR HOME F	20.75	23.70	34.36
41D	65	MANOR HOME F	20.35	23.30	33.96
	66	MANOR HOME F	20.35	23.30	33.96
41E	69	MANOR HOME G	19.45	22.10	32.76
	70	MANOR HOME G	19.45	22.10	32.76
101	92	MANOR HOME H	17.20	20.15	30.81
	93	MANOR HOME H	17.20	20.15	30.81
	94	MANOR HOME H	17.20	20.15	30.81
	95	MANOR HOME H	17.20	20.15	30.81

CHERRY HILL VILLAGE II
 MANOR HOME
 BUILDING OFFSET PLANS
 SCALE: 1" = 20'
 DATUM: U.S.G.S.

PKC
 JOB N.
 PLAN
 DATE

BLDG. NUMBER	UNIT NO.	UNIT TYPE	GARAGE FLOOR ELEV. U.S.G.S. DATUM	FIRST FLOOR U.S.G.S. DATUM	SECOND FLOOR ELEV. U.S.G.S. DATUM
E	102	TOWNHOUSE	32.00	34.33	44.99
	103	TOWNHOUSE (REV)	32.00	34.33	44.99
	104	TOWNHOUSE (REV)	32.50	34.33	44.99
	105	TOWNHOUSE (REV)	32.50	34.33	44.99
	106	TOWNHOUSE (REV)	30.50	32.00	42.66
	107	TOWNHOUSE (REV)	30.50	32.00	42.66
	108	TOWNHOUSE (REV)	30.50	32.00	42.66
	109	TOWNHOUSE (REV)	30.50	32.00	42.66
	110	TOWNHOUSE (REV)	30.50	32.00	42.66
	111	TOWNHOUSE (REV)	30.50	32.00	42.66
	112	TOWNHOUSE (REV)	32.00	34.33	44.99
	113	TOWNHOUSE (REV)	32.00	34.33	44.99
F	114	TOWNHOUSE (REV)	32.50	34.33	44.99
	115	TOWNHOUSE (REV)	32.50	34.33	44.99
	116	TOWNHOUSE (REV)	30.50	32.00	42.66
	117	TOWNHOUSE (REV)	30.50	32.00	42.66
	118	TOWNHOUSE (REV)	30.50	32.00	42.66
	119	TOWNHOUSE (REV)	30.50	32.00	42.66
	120	TOWNHOUSE (REV)	30.50	32.00	42.66
	121	TOWNHOUSE (REV)	30.50	32.00	42.66
	122	TOWNHOUSE (REV)	30.50	32.00	42.66
	123	TOWNHOUSE (REV)	30.50	32.00	42.66
	124	MANOR HOME J	18.50	20.83	31.49
	125	MANOR HOME J	18.25	20.83	31.49
G1	126	MANOR HOME J	18.25	20.83	31.49
	127	MANOR HOME J	18.25	20.83	31.49
	128	MANOR HOME J	17.75	20.08	30.74
G2	129	MANOR HOME J	17.50	20.08	30.74
	130	MANOR HOME J	17.50	20.08	30.74
	131	MANOR HOME J	17.25	20.08	30.74
G3	132	MANOR HOME C	17.00	26.05	29.99
	133	MANOR HOME C	17.00	26.05	29.99
	134	MANOR HOME C	17.00	26.05	29.99
H1	135	MANOR HOME C	17.00	26.05	29.99
	136	TOWNHOUSE (REV)	32.00	34.33	44.99
	137	TOWNHOUSE (REV)	32.50	34.33	44.99
	138	TOWNHOUSE (REV)	32.50	34.33	44.99
	139	TOWNHOUSE (REV)	30.50	32.00	42.66
	140	TOWNHOUSE (REV)	30.50	32.00	42.66
	141	TOWNHOUSE (REV)	30.50	32.00	42.66
	142	TOWNHOUSE (REV)	30.50	32.00	42.66
	143	TOWNHOUSE (REV)	30.50	32.00	42.66
	144	TOWNHOUSE (REV)	30.50	32.00	42.66
	145	TOWNHOUSE (REV)	30.50	32.00	42.66
	146	TOWNHOUSE (REV)	30.50	32.00	42.66
I2	147	TOWNHOUSE (REV)	30.50	32.00	42.66
	148	TOWNHOUSE (REV)	32.00	34.33	44.99
	149	TOWNHOUSE (REV)	32.50	34.33	44.99
	150	TOWNHOUSE (REV)	32.50	34.33	44.99
	151	TOWNHOUSE (REV)	30.50	32.00	42.66
	152	TOWNHOUSE (REV)	30.50	32.00	42.66
	153	TOWNHOUSE (REV)	30.50	32.00	42.66
	154	TOWNHOUSE (REV)	30.50	32.00	42.66
	155	TOWNHOUSE (REV)	30.50	32.00	42.66
	156	TOWNHOUSE (REV)	30.50	32.00	42.66
	157	TOWNHOUSE (REV)	30.50	32.00	42.66
	I1	158	MANOR HOME K	21.40	23.73
159		MANOR HOME K	21.40	23.73	34.46
160		MANOR HOME K	21.40	23.73	34.46
J	161	MANOR HOME L	23.10	26.05	34.39
	162	MANOR HOME L	23.10	26.05	34.39
	163	MANOR HOME L	23.10	26.05	34.39
K1	164	MANOR HOME J	20.25	22.58	33.24
	165	MANOR HOME J	20.25	22.58	33.24
	166	MANOR HOME J	20.25	22.58	33.24
	167	MANOR HOME J	20.25	22.58	33.24

UNIT NO.	FIRST FLOOR SQ. FT.	SECOND FLOOR SQ. FT.	TOTAL SQ. FT.
102	993	1,548	993
103	993	1,548	993
104	993	1,548	993
105	993	1,548	993
106	993	1,548	993
107	993	1,548	993
108	993	1,548	993
109	993	1,548	993
110	993	1,548	993
111	993	1,548	993
112	993	1,548	993
113	993	1,548	993
114	993	1,548	993
115	993	1,548	993
116	993	1,548	993
117	993	1,548	993
118	993	1,548	993
119	993	1,548	993
120	993	1,548	993
121	993	1,548	993
122	993	1,548	993
123	993	1,548	993
124	1,520	1,580	1,520
125	1,520	1,580	1,520
126	1,520	1,580	1,520
127	1,520	1,580	1,520
128	1,520	1,580	1,520
129	1,520	1,580	1,520
130	1,520	1,580	1,520
131	1,520	1,580	1,520
132	1,508	1,560	1,508
133	1,508	1,560	1,508
134	1,508	1,560	1,508
135	1,508	1,560	1,508
136	993	1,548	993
137	993	1,548	993
138	993	1,548	993
139	993	1,548	993
140	993	1,548	993
141	993	1,548	993
142	993	1,548	993
143	993	1,548	993
144	993	1,548	993
145	993	1,548	993
146	993	1,548	993
147	993	1,548	993
148	993	1,548	993
149	993	1,548	993
150	993	1,548	993
151	993	1,548	993
152	993	1,548	993
153	993	1,548	993
154	993	1,548	993
155	993	1,548	993
156	993	1,548	993
157	993	1,548	993
158	1,685	1,660	1,685
159	1,685	1,660	1,685
160	1,685	1,660	1,685
161	1,685	1,660	1,685
162	1,442	1,978	1,442
163	1,442	1,978	1,442
164	1,442	1,978	1,442
165	1,580	1,580	1,580
166	1,520	1,645	1,520
167	1,520	1,645	1,520
168	1,520	1,645	1,520

BLDG. NUMBER	UNIT NO.	UNIT TYPE	GARAGE FLOOR ELEV. U.S.G.S. DATUM	FIRST FLOOR U.S.G.S. DATUM	SECOND FLOOR ELEV. U.S.G.S. DATUM
K2	169	MANOR HOME K	20.25	22.81	33.47
	170	MANOR HOME K	20.25	22.81	33.47
	171	MANOR HOME K	20.25	22.81	33.47
L	172	MANOR HOME K	20.25	22.81	33.47
	173	MANOR HOME C	20.20	25.03	35.69
	174	MANOR HOME C	20.20	25.03	35.69
	175	MANOR HOME C	20.20	25.03	35.69
M	176	MANOR HOME C	20.20	25.03	35.69
	177	TOWNHOUSE (REV)	23.10	26.05	36.71
	178	TOWNHOUSE (REV)	23.10	26.05	36.71
	179	TOWNHOUSE (REV)	23.10	26.05	36.71
	180	TOWNHOUSE (REV)	23.10	26.05	36.71
	181	TOWNHOUSE (REV)	22.00	26.05	36.71
	182	TOWNHOUSE (REV)	22.00	26.05	36.71
	183	TOWNHOUSE (REV)	32.50	34.33	44.99
	184	TOWNHOUSE (REV)	32.50	34.33	44.99
	185	TOWNHOUSE (REV)	30.50	32.00	42.66
	186	TOWNHOUSE (REV)	30.50	32.00	42.66
	N	187	MANOR HOME J	27.08	30.63
188		MANOR HOME J	26.05	30.63	41.29
189		MANOR HOME J	28.30	30.63	41.29
O	190	MANOR HOME J	28.30	30.63	41.29
	191	MANOR HOME J	28.30	30.63	41.29
	192	MANOR HOME J	28.30	30.63	41.29
P	193	MANOR HOME J	28.30	30.63	41.29
	194	MANOR HOME J	28.30	30.63	41.29
	195	MANOR HOME J	28.30	30.63	41.29

UNIT NO.	FIRST FLOOR SQ. FT.	SECOND FLOOR SQ. FT.	TOTAL SQ. FT.
169	993	1,665	993
170	993	1,665	993
171	993	1,665	993
172	993	1,665	993
173	993	1,665	993
174	993	1,665	993
175	993	1,665	993
176	993	1,665	993
177	993	1,665	993
178	993	1,665	993
179	993	1,665	993
180	993	1,665	993
181	993	1,665	993
182	993	1,665	993
183	993	1,665	993
184	993	1,665	993
185	993	1,665	993
186	993	1,665	993
187	1,520	1,682	1,520
188	1,520	1,682	1,520
189	1,520	1,682	1,520
190	1,520	1,682	1,520
191	1,520	1,682	1,520
192	1,520	1,682	1,520
193	1,520	1,682	1,520

SCALE: ONE INCH = 20 FEET
20151050 20 40

CHERRY HILL VILLAGE II
BUILDING OFFSET PLANS
BUILDING E. F. G. H. I
J. K. L. M. 145-M & 145-N
SCALE: 1" = 20' DATUM: U.S.G.S.
PER 18