



Pattern Book

Cherry Hill Village ■ Canton Township ■ Michigan
Biltmore Properties Corporation ■ Troy, Michigan
03.98040.08 ■ October 14, 1999

Table of Contents

Statement of Intent - Sheet 1

Plan Overview - Sheet 1

Streetscapes - Sheets 2 - 3

Site Planning Elements - Front - Sheet 4

Site Planning Elements - Rear - Sheet 5

Facade Design - Sheet 6

Entries, Porches, Doors & Lighting - Sheet 7

Windows & Dormers - Sheet 8

Columns, Cornices & Rakes - Sheet 9

Garage Design & Siting - Sheet 10

Fencing & Walls - Sheet 11

Yards & Landscaping - Sheets 12 - 14

Estate Lots - Sheet 15

Village Lots - Sheet 16

Cottage Lots - Sheet 17

Townhouses - Sheet 18

Manor Houses - Sheet 19

Special Conditions Lots - Sheets 20-21

Special Open Space Conditions - Sheet 22

Schedule of Regulations - Sheets 23-24



©2000 Looney Ricks Kiss Memphis Nashville Princeton

Cherry Hill Village ■ Canton Township ■ Michigan
Biltmore Properties Corporation ■ Troy, Michigan

03.98040.08 ■ Revised: February 2, 2000

Adopted:

Statement of Intent

The provisions of this Pattern Book are provided as a straightforward guide to assist property owners, architects, house designers, builders and the Canton Township Building Department in understanding the comprehensive level of planning, design, and implementation that is required for improvements within the Cherry Hill Village Planned Development District.

The vision for the development is to create a complete community of streetscapes, buildings, and site improvements that are based upon time-tested, traditional design concepts. While each building and lot shall stand on its own design merit, it is the desire that each individual building or improvement contribute to implementing the desired character so that the compatibility, long-term quality and appreciation of value of the overall community may be optimized for all involved. The results of appropriate design character and elements are in part based on consumer research. Each proposed building (hereinafter "building" shall mean any building and any addition[s] thereto) or improvements (hereinafter "improvements" shall mean any improvements including site improvements and landscaping) shall be designed and reviewed for consistency and/or compatibility with the appropriate architectural character in this Pattern Book.

This Pattern Book visually illustrates both "appropriate" and "inappropriate" design character and elements. The guidelines are not intended to be subjective value judgments relating to the images and elements indicated, but are utilized to illustrate, before the design process begins, the intended design character. It is acknowledged that the images and elements contained herein are not fully comprehensive in scope and shall be used by the Design Review Committee (DRC) as the minimum standard for reviewing buildings and improvements. The DRC shall have the authority to define any term or interpret the applicability of any issue contained in this Pattern Book.

The DRC shall have the power to approve, conditionally approve or deny any proposed building or improvement. At its discretion, the DRC shall also have the power to recommend waivers from any provision of this Pattern Book, provided granting such waiver shall have a positive impact upon the surrounding streetscape and the community overall and/or that such waiver is based on outstanding design merit and/or otherwise advances the design goals for the community. Any such waiver shall have the approval of the Canton Township Community Planning Department. A building or improvement designed of a character not shown in the Pattern Book, but which is

historically accurate and/or compatible with the appropriate character contained herein, may be permitted by the DRC. In such instances, it is recommended that a preliminary concept plan be submitted for review prior to the preparation of detailed plans.

Beyond the appropriate architectural images, details, and materials, the main design elements that must be adequately addressed and will be reviewed in particular are:

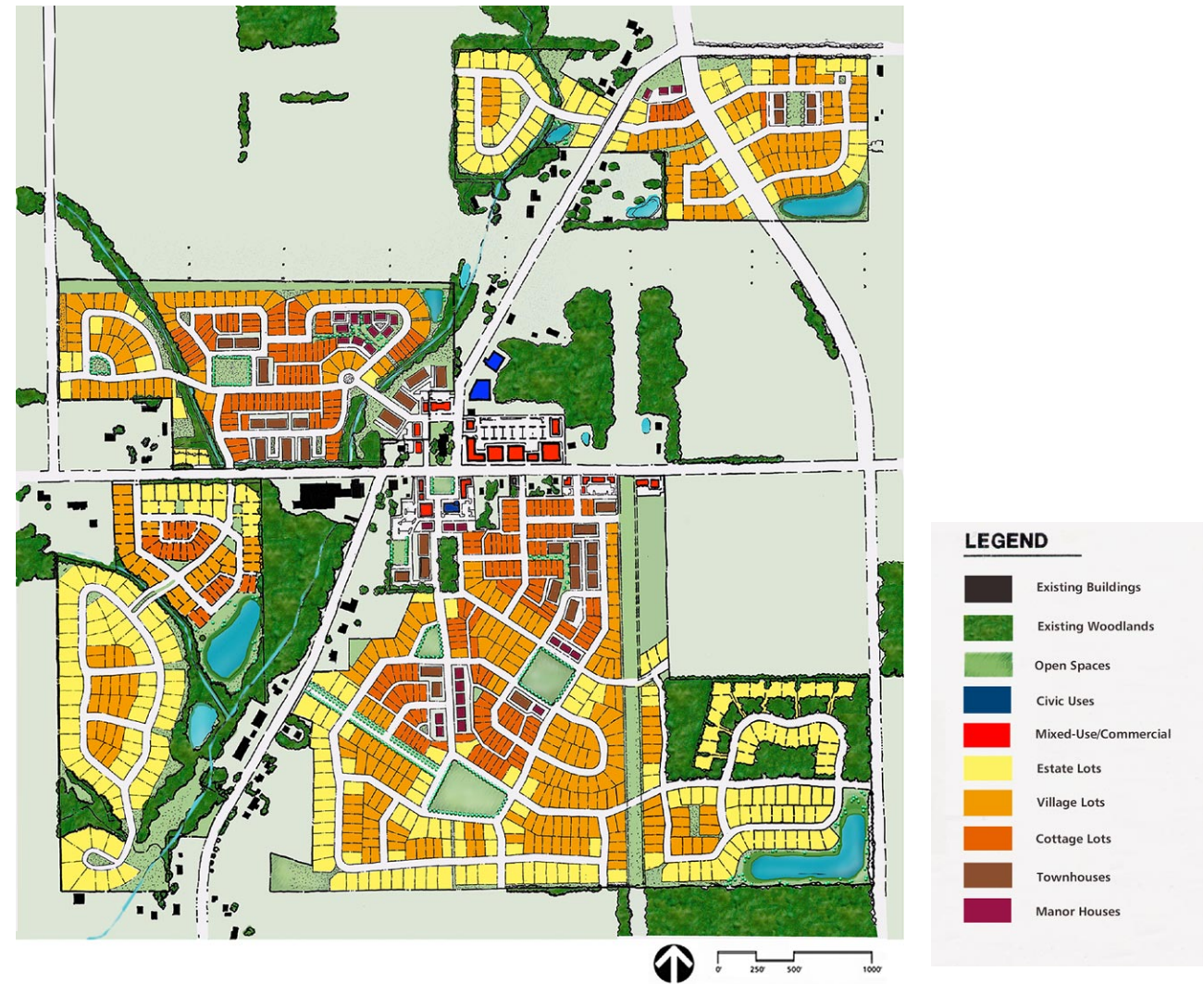
- Streetscape character/relationship to surroundings
- Site orientation
- Garage location, access, and treatment
- Overall house image - front, sides, and rear
- Scale, massing and proportions
- Facade composition
- Rooflines and roof elements
- Exterior materials, colors and detailing
- Front entry, porches, details and columns
- Doors, windows, and shutters
- Landscaping, hardscape, fencing and site amenities
- All utility/service elements

This Pattern Book is produced in an 11" X 17" format and is available through the office of Biltmore Properties Corporation. This Pattern Book may be amended from time to time, as needed, with the approval of the Canton Township Community Planning Department.

The use of this Pattern Book, including information and imagery contained within, is solely at the risk of the user. The developer, the DRC, and their agents shall have no liability to any party in connection with the use of these guidelines or provisions, or from comments, redesigns and suggestions from the actual design review process. It shall be the obligation of any person or entity using this Pattern Book to do the following:

- Make an independent evaluation of the adequacy of any design image, character or element contained herein, and to ascertain its suitability for such person's or entity's intended use.
- Ensure that all designs prepared in connection with the use of this Pattern Book meet all applicable regulations of the Canton Township Building Department, including, but not limited to all construction code, fire sub-code and other life safety provisions necessary for the intended use of any property.

Plan Overview



The Cherry Hill Village Plan creates a unique and identifiable community focusing upon and extending from the historic core of the village. The core, as enhanced, is to be the hub of civic, social, commercial and special activities. A new Village Square, situated directly opposite the schoolhouse and terminating the intersection at Ridge and Cherry Hill Roads, is intended to play host to a number of community activities. The Plan responds to and takes advantage of existing natural features in locating various uses, streets, open spaces and vistas.

A village-scale system of parks, greens, squares, pedestrian courtyards and vest pocket parks are provided as visual focal points throughout the Village. These common open spaces are designed to be spatially enclosed by surrounding buildings and will be carefully programmed to serve recreational needs and act as social gathering places that enhance a "sense of community".

Following the time-tested model of historic village patterns, village center neighborhoods contain a compact mix of housing types and are located within easy walking distance of the core. As distance increases from the core, the pattern transitions to larger homes in edge of village neighborhoods. In "gateway" locations, open space is provided in more compatible forms for the rural/agricultural character at the edge of the village.

Circulation is provided by an integrated system of streets, sidewalks, pathways and bicycle/jogging trails which are designed to create active links between residential, shopping, parks and special events areas.



✓ Non-residential uses may project a residential character of detached dwellings converted to commercial uses.



✓ Non-residential buildings shall relate in scale, massing and details to surrounding buildings to maintain the residential character of the Village.



✓ The building footprints, porches and entry locations vary between these adjacent buildings.



✓ A variety of architectural designs, details, materials, and colors are encouraged to create a unique streetscape character.



✓ Wall offsets, projections, recesses and changes in facade height are used to add interest and variety of this building.



✓ Roof line offsets, dormers and chimneys may help vary the massing of this building and relieve the effect of a single, long roof.



✓ Manor house buildings shall project a single-family character as much as possible through scale, massing, entrance location, fenestration and details.



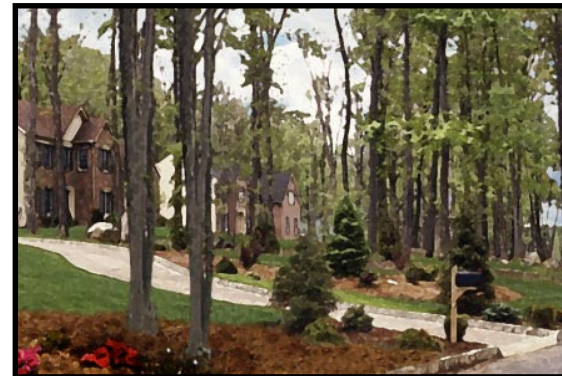
✓ Facades visibly exposed to a common open space shall be specially designed to respond to these more prominent locations.



✓ Buildings facing common open spaces or pedestrian courtyards shall have geometrically logical and/or architecturally formal spatial relationships with other buildings and structures.



✓ Buildings fronting directly onto a pedestrian courtyard create special pockets within the community.



✓ Flag lots have a minimum lot width at the street line of 14'-0" and are, in some cases, intended to situate homes within wooded settings.



✓ Clear site triangle on corner house creates a safe place for children to play.



✓ Corner buildings require special architectural responses, such as this wrap-around porch.



✓ Side porches can be combined with cross gable massing to achieve a diverse appearance from different angles along the street.



✓ These homes use wings to graduate a change in scale toward the abutting side yards.

Variety

A variety of architectural designs, details, materials and colors are encouraged to create a unique streetscape character. In relation to the streetscape, building footprints including porches and entry locations, shall generally vary from adjacent buildings. For any single building type on one block face, a variety of design treatments are encouraged. In special locations, the same design, details, materials and colors may be repeated on adjacent lots if approved by the DRC.

Scale & Massing

The overall scale, massing and basic proportions of buildings shall be compatible with those of the appropriate illustrations on this and the following page.

Manor house buildings shall project a single-family character as much as possible through scale, massing, entrance location, and facade design.

Building Orientation

Buildings shall be located to front towards and relate to either a street and/or a common open space, both functionally and visually, to the greatest extent possible. Buildings shall not be oriented toward parking areas with the exception of flag lots, courtyard entry lots and secondary entrances to buildings.

For buildings facing common open spaces or pedestrian courtyards, spatial relationships with other buildings and structures surrounding such space shall be geometrically logical and/or architecturally formal, as determined by the DRC.

Corner & Multiple Frontage Buildings

Buildings with two or more facades visibly exposed to a street or common open space shall be specially designed to respond to these more prominent locations. Such buildings shall have special massing and/or other treatments on all exposed facades. All exposed facades shall be treated with the same architectural quality and detail.

Buildings Terminating Views

Buildings that are located at the termination of a view, vista, or axis shall be considered more significant structures requiring special architectural responses.

✓ Appropriate Streetscapes



✓ Fences, walls and building architecture must all be compatible, to generate a cohesive and inviting streetscape.



✓ Streetscapes shall be defined by consistent setbacks, porches, hedges, shade trees and other elements.



✓ Porches can vary in design, detail, entry location and depth of projection along a streetscape.



✓ These homes provide a variety of design treatments, footprints, and details along the streetscape.



✓ This streetscape contains a variety of architectural designs that incorporate some consistent details, such as porch columns.



✓ Shade trees planted within the planting strip along both sides of all streets help define the streetscape.



✓ These foundation plantings and other planting beds reinforce the architectural lines of the building.



✓ Detached accessory dwellings may be required to match the design, colors, materials and details of the principal building.



✓ Detached accessory dwellings may be located to the rear of a lot and designed as carriage houses, barns or cottage-type structures.



✓ A variety of garage and parking arrangements should be provided to create a more visually interesting alley.



✓ Landscaping, shade trees and other vertical elements such as walls, fences and hedges reinforce the alley's edge.

YES Streetscapes

Setbacks

The pattern for front and side yard setbacks shall be established for each block by the DRC. Buildings shall generally be situated along front yard setbacks to establish a compatible streetscape image. Non-enclosed porches and entries may project into the front and side yard setbacks, as noted for each building type. In special locations, buildings may be located behind the front yard setback line if permitted by the DRC.

Street Edge Treatment

Buildings shall define the streetscape through the use of generally consistent front yard setbacks on an individual block. The streetscape shall also be reinforced by projecting porches, shade trees and other vertical elements, such as walls, hedges and fences, which define front yards and street edges.

Street Trees in Planting Strip

In addition to the required street trees, the common planting strip along the street between the curb and sidewalk shall contain grass or other specified ground cover. Any other plant or paving materials within a planting strip shall require approval of the DRC.

Landscaping

Yard areas located between the front wall of a building and the street shall be planted with some combination of trees, shrubs, hedges, ground cover, perennials and annuals.

Fences and Walls

Fences and walls shall be architecturally compatible with the design, materials and colors of the principal building on the same lot.

Alleys

A variety of garage and parking arrangements should be provided to create a more visually interesting alley. Landscaping, shade trees and other vertical elements such as walls, fences and hedges reinforce the alley's edge.

✗ Inappropriate Streetscapes



✗ This scene lacks a strong street edge treatment. The house terminating the view at the end of the street does not appropriately respond to this special location.



✗ This streetscape is characterized by too many blank walls and garage doors.



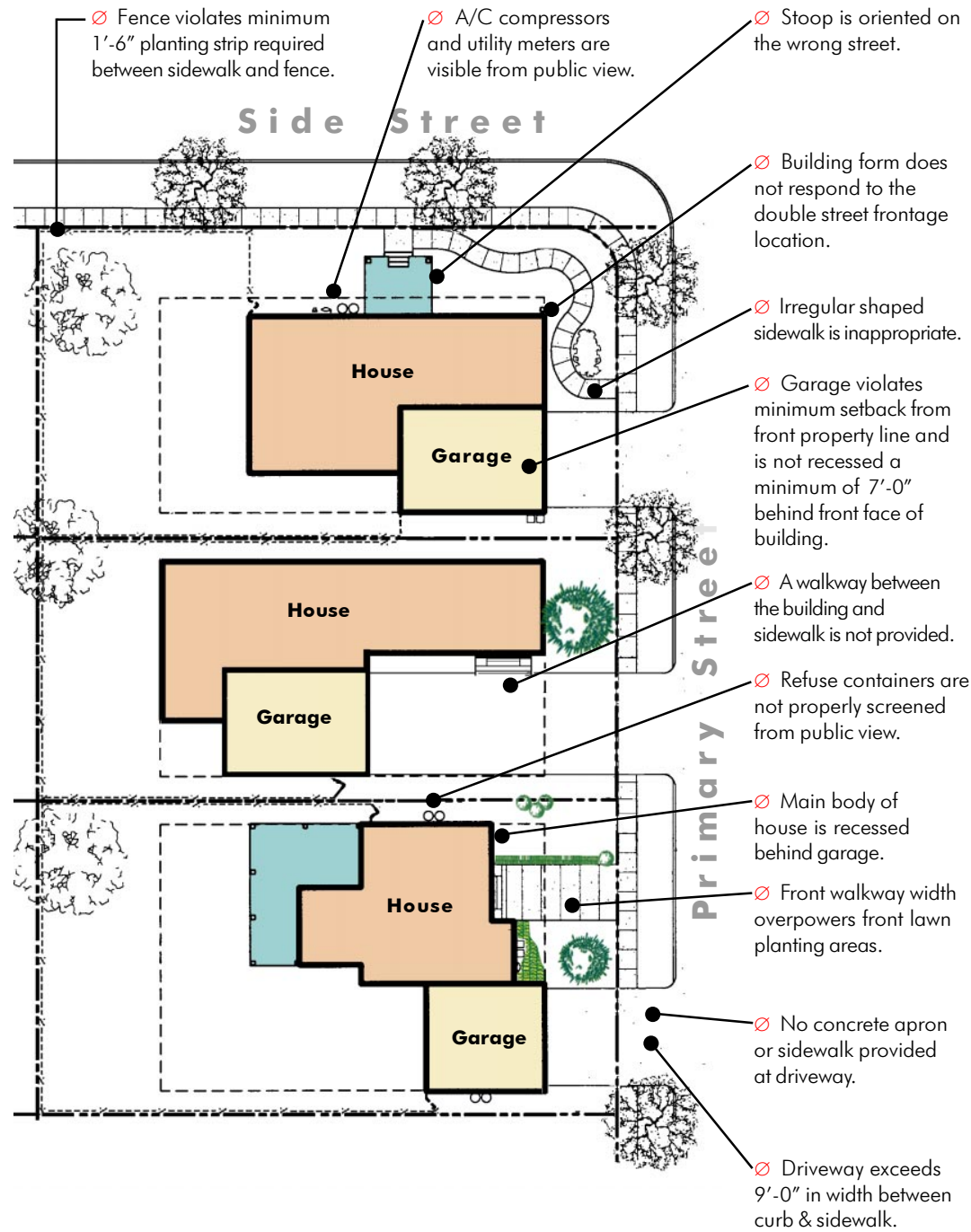
✗ The front yard should not be dominated by garages and parked cars. There is a lack of landscaping in the planting strip that defines the streetscape.



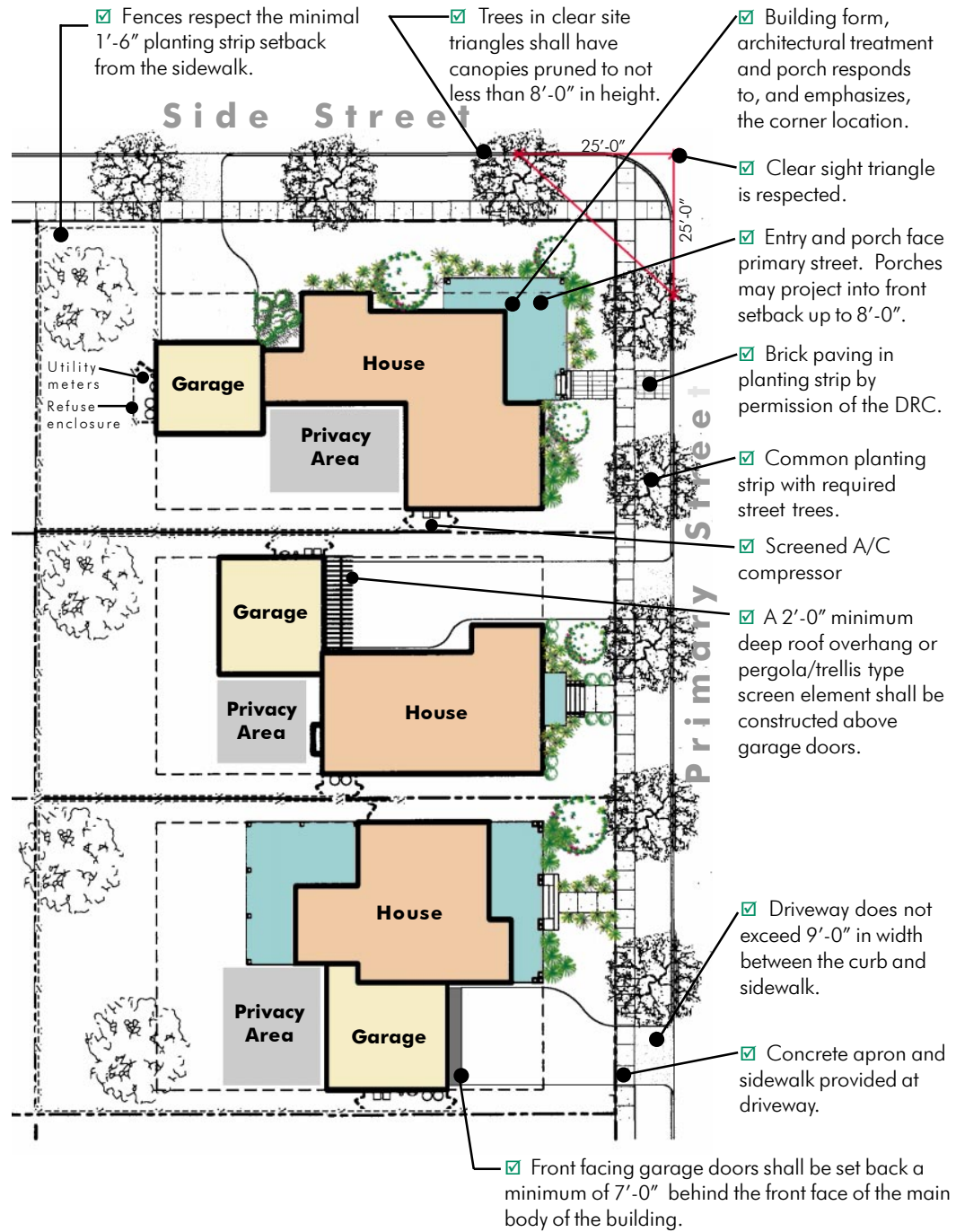
✗ While many elements are appropriate, the garage face is not recessed far enough behind the main body of the house. The neighboring sidewall to the left could also use more articulation.

NO

⊘ Inappropriate Site Planning Elements - Front Access NO



✓ Appropriate Site Planning Elements - Front Access YES



Site Planning Elements - Front

Streetscape

Buildings shall define the streetscape through the use of generally consistent front yard setbacks on an individual block. The streetscape shall also be reinforced by sidewalks, planting strips, projecting porches, street trees, shade trees and other vertical elements, such as walls, hedges and fences, which define front yards and street edges.

Building Orientation

The primary orientation of corner and multiple frontage buildings for the purpose of establishing front entries shall be determined by the DRC. Each building shall have a walkway connection between the front entry and the sidewalk system.

Parking

Garages shall be less obtrusively located toward the rear of the lot to the extent possible. Front entry garages shall be recessed a minimum 7'-0" behind the front face of the main body of the building. On corner lots, access to garages shall be from side streets, as determined by the DRC.

Driveways shall be a maximum of 9'-0" wide between the curb and sidewalk and a maximum of 18'-0" wide within the front yard, unless an alternative dimension is deemed necessary by the DRC based on streetscapes, setbacks and maneuverability of vehicles.

Utilities

Gas utility meters, electrical utility meters, and A/C compressors shall be less obtrusively located toward the rear of house and screened from public view by landscaping, wall or fence.

Refuse

Refuse containers shall be stored within an enclosed area and screened from public view by landscaping, wall or fence.

Privacy Areas

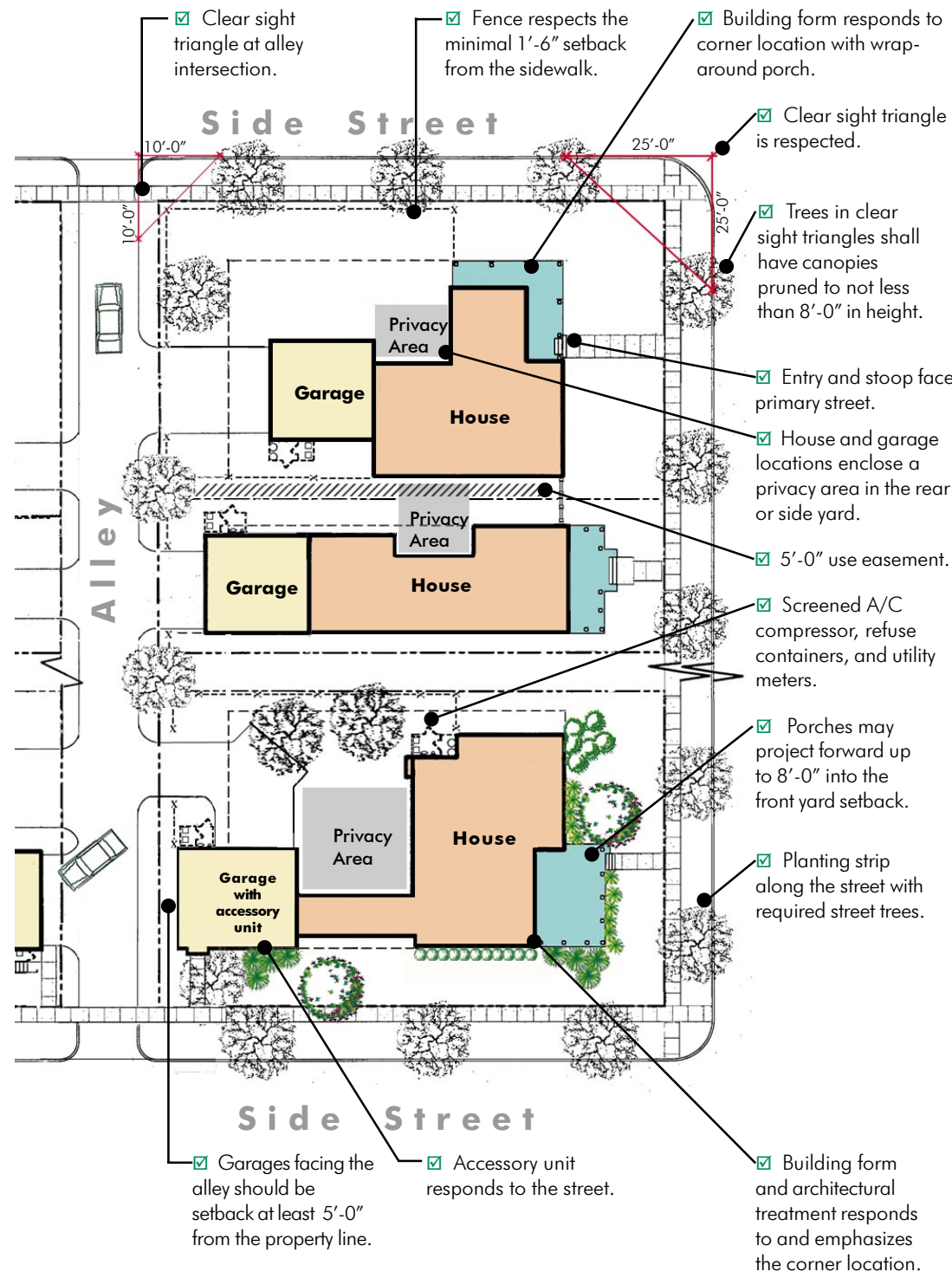
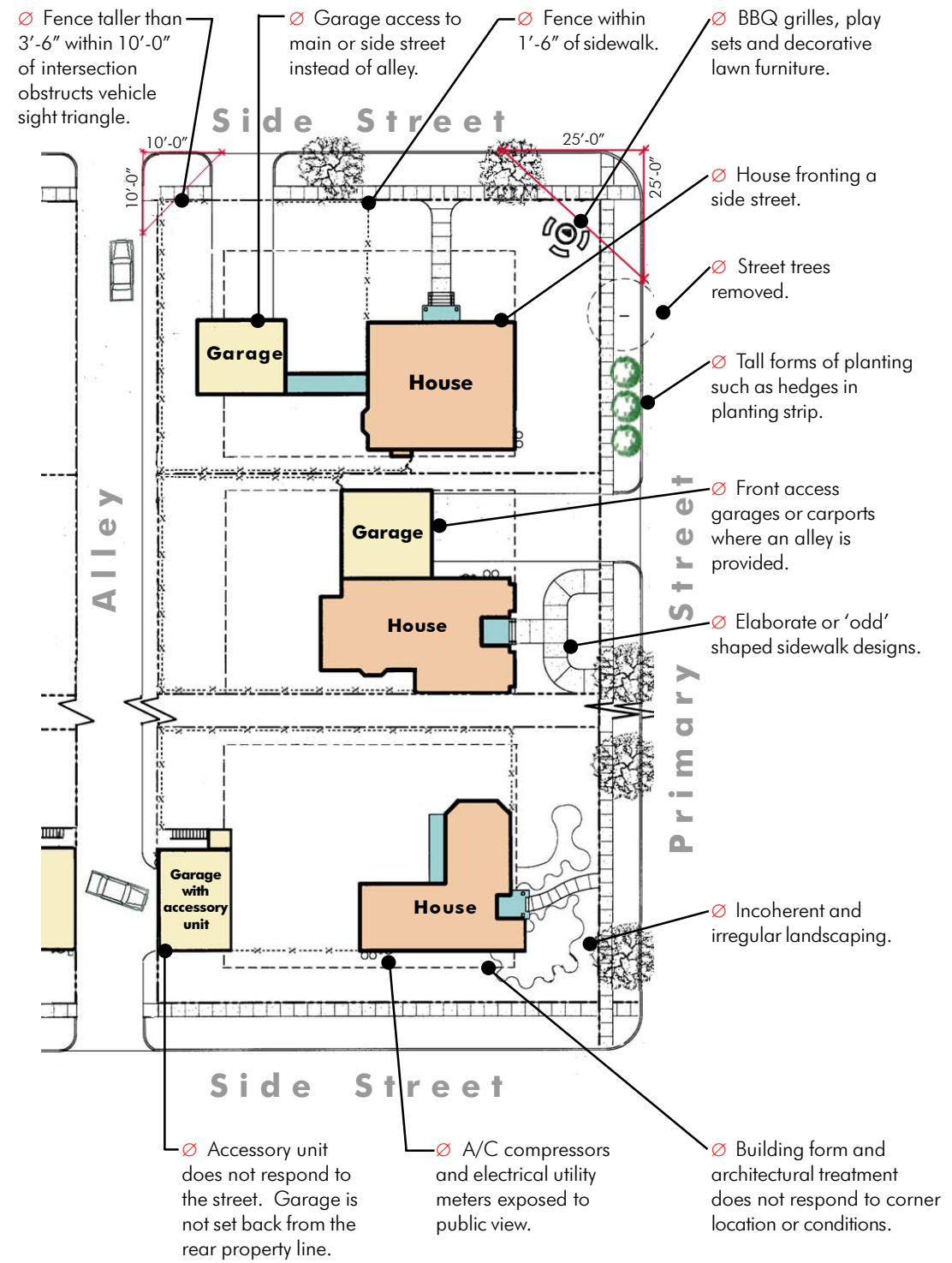
It is encouraged that building and garage footprints be located to create a variety of privacy areas.

Clear Sight Triangle

On corner lots facing two or more streets, no structure or other vision obstructing object, shall be placed within the triangular area formed by measuring 25'-0" along each curb line from the point of intersecting curb lines at such corner and connecting such points to form a triangle. Within such areas, the following shall be permitted: Landscaping if maintained at less than 3'-0" in height; trees, if the canopy is pruned to not less than 8'-0" in height; and non-solid fences as permitted in front yards.

⊘ Inappropriate Site Planning Elements - Rear Access NO

✓ Appropriate Site Planning Elements - Rear Access YES



Site Planning Elements - Rear

Streetscape

Buildings shall define the streetscape through the use of generally consistent setbacks on an individual block. The streetscape shall also be reinforced by projecting porches, shade trees and other vertical elements, such as walls, hedges and fence, which define front yards and street edges.

Building Orientation

The primary orientation of corner and multiple frontage buildings for the purpose of establishing front entries shall be determined by the DRC. Each building shall have a walkway connection between the front entry and the sidewalk system.

Alleys

Garages shall be setback a minimum of 5'-0" from the alley property line.

Utilities

Gas utility meters, electrical utility meters, and A/C compressors shall be located toward the rear portion of the house and screened from public view by landscaping or appropriate fencing.

Refuse

Refuse containers must be stored within an enclosed area, fenced, walled or screened by landscaping.

Privacy Areas

Defined side or rear yard spaces shall be formed by the location of the building and garage footprints on each lot. These spaces are encouraged to act as an extension to rooms in the house. Use easements may be used to create more functional privacy areas, as determined by the DRC.

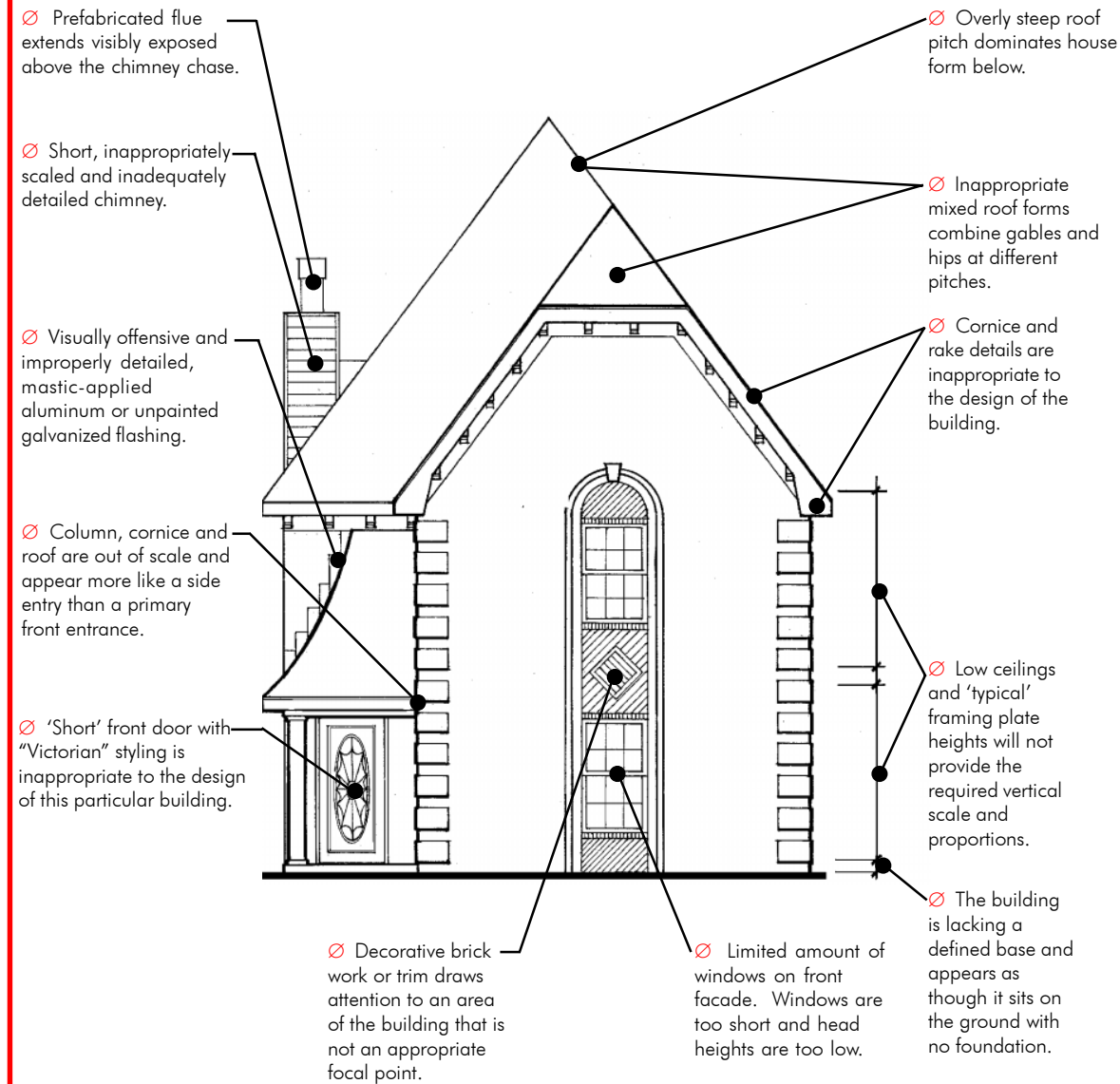
Clear Sight Triangles

On corner lots facing two or more streets, no structure or other vision obstructing object, including landscaping, shall be placed within the triangular area formed by measuring 25'-0" along each curb line, from the point of intersecting curb lines at such corner and connecting such points to form a triangle.

On lots abutting an alley intersecting with a street, no fence, structure or other vision obstructing object, including landscaping, shall be placed within the triangular area formed by measuring 10'-0" along a street curb line and along the alley edge-of-pavement line, from the point where such lines intersect and connect to form a triangle.

Within both types of clear sight triangles, the following shall be permitted: Landscaping if maintained at less than 3'-0" in height; trees, if the canopy is pruned to not less than 8'-0" in height; and non-solid fences as permitted in front yards.

⊘ Inappropriate Facade Design NO



Exterior Materials and Colors

The following materials, which shall be appropriate to the architectural design of a building, may be used:

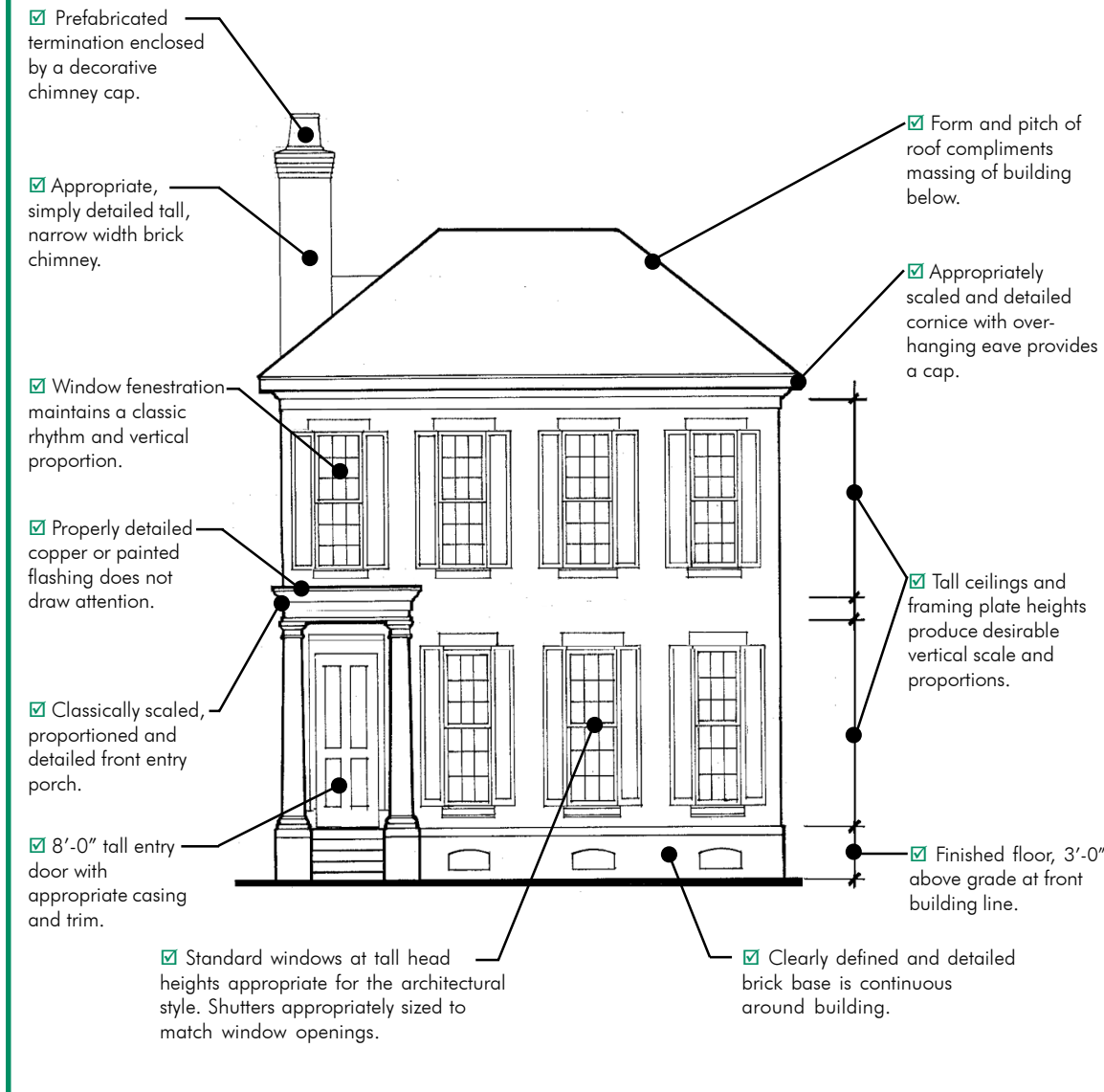
Only standard size brick approved by the DRC, shall be used. "Jumbo" and other non-modular brick sizes are prohibited. White brick is prohibited. All mortar joints shall be concave tool finished unless otherwise noted on plans and approved by the DRC.

If vinyl siding is used, the following standards shall apply:

- Butt joints shall not be visible on the front elevation or on side elevations for a distance of 12'-0" minimum from the intersecting plane with the front wall. In addition, building elements such as bay projections, dormers, chimneys, cupolas and turrets whose surfaces are 12'-0" or less in length shall have no visible joints.

- All entry and window trim, porches, fascias, cornices and similar architectural elements visible from public view shall not be constructed of vinyl and shall be painted wood or an alternative material approved by the DRC.
- Two or more vinyl-sided buildings in a row without well-detailed front porches shall not be permitted.
- Vinyl siding is not permitted on Estate Lot homes.

✓ Appropriate Facade Design YES



Roof materials shall consist of dimensional asphalt, dimensional fiberglass shingles, slate or synthetic slate. Dimensional shingles shall have no less than a 25-year life. Standing seam metal may be used for porches.

The initial palette of colors and materials for any building or improvement shall be approved by the DRC.

Chimneys

Chimneys shall be appropriate to the architectural design of a building and, where visible to the public, shall be brick, brick-type veneer, stone, stucco or simulated stucco. Siding may be acceptable in less visible locations as determined by the DRC. On corner lots and other locations where a chimney is highly visible from a street, the chimney shall be at least 2'-0" taller than required by code and detailed in a simple manner. Spark arrestors shall be screened with a chimney cap.

Gutters and Downspouts

Standard rectangular shape, half-round or ogee-shaped gutters with rectangular or round downspouts shall be used where appropriate for the architectural design of a building. Downspouts shall be located to respect the architectural lines of the building, and shall not be affixed to columns.

Facade Design

Facade

The front facade of a building shall face a street or common open space, and shall be emphasized through window patterns and proportions, entrance treatment and details, and front porches where applicable. Entrances, windows and details shall be architecturally compatible with the design, materials, colors and details of the building. Windows shall be vertically proportioned. The location of windows on the upper stories of a building shall generally be vertically aligned with the location of windows and doors on the ground level, including storefronts or display windows. The design of visibly exposed side and rear elevations shall be compatible with the design of the front facade.

Scale and Massing

Buildings shall utilize simple, traditional forms of massing to the extent possible. At the discretion of the DRC, building wall offsets, including projections, recesses, and changes in facade height, shall be used to add interest and variety, reducing the visual effect of a single, long wall. Similarly, roof line offsets, cross gables and dormers may be required by the DRC to relieve the visual effect of a single, long roof. Changes in scale and massing should be accomplished through gradual increments such as wall offsets, roof line variations or shifts in the height of a wall or cap line, as determined by the DRC.

The DRC may require buildings that are unusually narrow relative to their lot width, and/or to other buildings on the same block, to be designed with architectural features such as porte cocheres to increase their width as viewed from the street.

Base & Cap

All visibly exposed sides of a building shall have a defined base and cap. The base and cap shall be conveyed through clearly defined horizontal elements along the bottom and top of the building wall. The base may align with the finished floor height, kickplate or sill level of the first story. A brick base is highly recommended, except where an alternative material is appropriate to the design of the building. The cap shall consist of a fascia, cornice, frieze, parapet or eave at the top of a building wall and shall project out horizontally from the vertical wall plane.

Finished Floor & Ceiling Height

For residential buildings, the finished first floor shall be a minimum of 3'-0" above grade at the front building line and the first floor ceiling heights shall be a minimum of 9'-0". Finished floor elevation and ground elevation at the front of the house shall be shown on the site plan for each lot.

Roofs

Roof form and architectural embellishments such as cross-gables, dormers, belvederes, masonry chimneys, cupolas and other similar elements shall be appropriate to the architectural design of a building. Hipped or gabled roof forms are highly encouraged and shall be used with consistent pitches of 6/12 to 14/12. Both gable and hipped roofs shall have overhanging eaves on all sides that are appropriate to the design of the building wall.

✓ Appropriate Entries, Porches, Doors & Lighting

YES

Entries, Porches, Doors & Lighting

Entries

Special emphasis should be directed towards the highly visible front entryway, including a porch if provided, on facades facing a primary street or fronting onto a common open space. All entrances to a building shall be defined and articulated by a limited use of time-tested architectural elements such as lintels, pediments, pilasters, columns, porticos, porches, overhangs, railings, balustrades or other features which shall be appropriate to the architectural design of the building. Decorative entries and porches should be based upon the historical details, scale and proportion of the selected architectural style.

Porches

Porches are encouraged where appropriate to the design of a building. On Cottage Lots, the minimum depth of a front porch shall be 6'-0". On Village Lots and Estate lots, the minimum depth of a front porch shall be 8'-0".

Doors

Taller doors (7'-0" - 8'-0" in height) are generally encouraged for front entries. Standard 6'-8" doors with appropriate casing and trim may be allowed as an exception by the DRC. Properly sized transoms may be used above the door where appropriate to the architectural design of the building.

✓ An elaborate door surround should be used with a 4-, 6-, or 9-paneled door. Where appropriate to an historically-based architectural style, a semi-circular or elliptical fanlight may be incorporated into the entryway. Rectilinear transoms should generally be minimum of 16" tall.

✓ 8'-0" tall door, with appropriate entry surround.

✓ Standard height door, tall transom, appropriate casing and head trim. Transoms shall be used where appropriate to the architectural design.

✓ Standard height door with sidelites and properly sized transom with appropriate entry surround.

✓ Decorative entry with an appropriately scaled and proportioned pair of 3'-0" wide doors and properly sized transom.



✓ Decorative entries should be based upon historical details, scale and proportions appropriate to the architectural design of the building.



✓ This entry area is fairly compact but highly detailed. The pilasters, molding, special transom, lantern and door hardware all exude a rich, timeless appearance.



✓ The brick steps and well detailed hand rails extend the high quality appearance of this entry toward the street.



✓ The emphasis on this entry is created by a combination of the porch, columns and brick reinforced by landscaping, rather than an elaborate door.

✗ Inappropriate Entries, Porches, Doors & Lighting

NO

Lighting

Near each main entry, a minimum of two exterior incandescent light fixtures, 75 watt maximum, and operated by photo-cell shall be provided. Such lights may be any combination of wall or ceiling-mounted, ceiling-recessed or yard and garden fixtures as approved by the DRC.

All exterior lighting fixtures shall be of a decorative design that compliments the architectural design of the building. Such fixtures shall have low-wattage incandescent or other light sources, as approved by the DRC. High- and low-pressure sodium, metal halide and mercury vapor light sources are prohibited.

✗ Inappropriate door style with short transom above.

✗ Short, inappropriately styled doors with oversized, arched transoms above.

✗ Decorative entry with an inappropriately scaled entry surround and pediment.



✗ The proportions of this entry surround are too wide on the sides and too narrow above. Sidelights and transom are inappropriate.



✗ Overall composition, proportions, details and materials are all inappropriate.



✗ Trendy windows that will look dated and out-of-style within a few years are inappropriate.

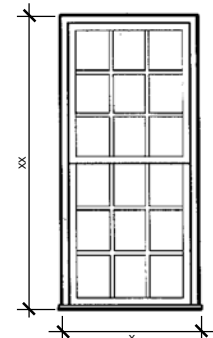


✗ Scale of columns and transoms is too exaggerated in relation to the door, which becomes lost in the facade composition. A more restrained approach would look better and cost less.

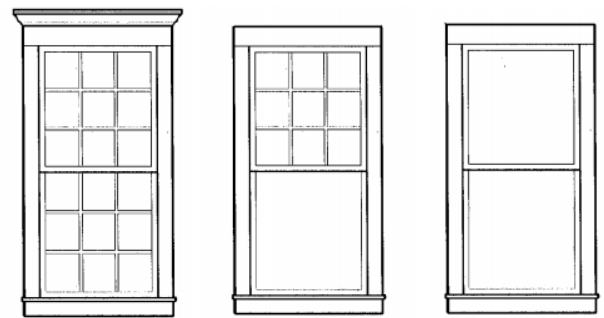
Note: Details shown for informational purposes only. Main entrance doorway details shall be submitted with the plans for each home regardless of whether such details match those on this page or represent a design of comparable quality materials and details. Such details shall be appropriate to the architectural design of the building.

✓ Appropriate Windows and Dormers

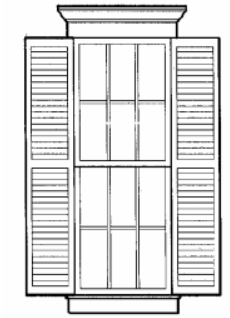
YES Windows and Dormers



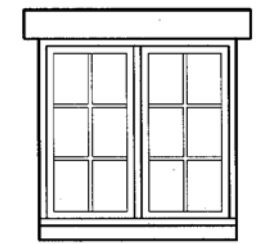
✓ Appropriate window proportions have a minimum ratio of one wide to two high (1w x 2h).



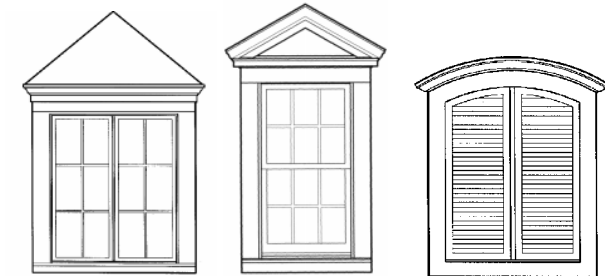
✓ When divided light or simulated divided light windows are used such divisions shall be appropriate to the architectural design of the building.



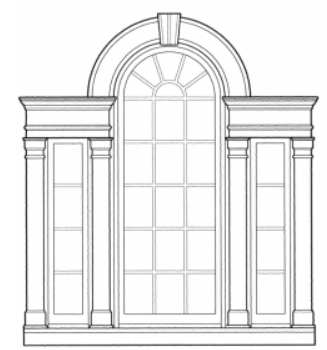
✓ Shutters shall be sized to match actual window sizes.



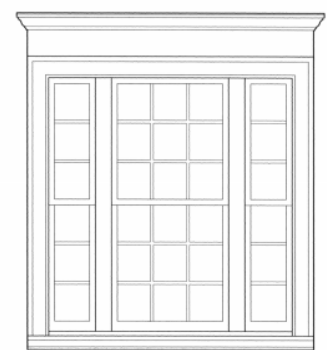
✓ Consider casement windows as an appropriate window for heights below 4'-0".



✓ These are appropriately proportioned and detailed dormers.



✓ Grouped windows, such as this palladian window, are appropriate as a focal point, such as above the entry, and not as a repeated element.



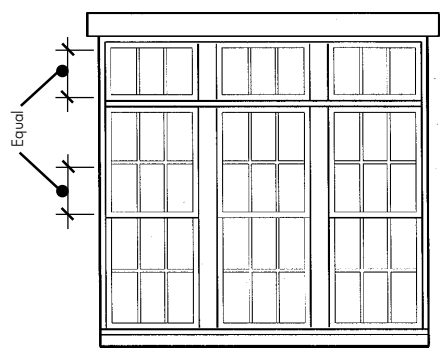
✓ Grouped windows should be arranged to maintain a pattern of vertical proportion.



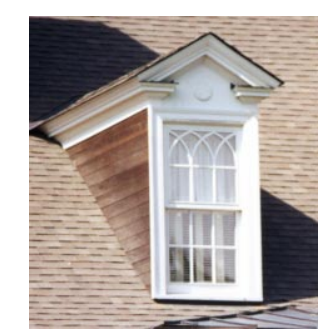
✓ This bay window successfully blends rich base and molding details with a simpler window composition.



✓ Shutter style appropriately matches window style.



✓ On a divided light window, transom height matches height of light below.



✓ More elaborate dormers shall be used where appropriate to an historically-based style.

Windows

Windows shall be architecturally compatible with the design, materials, colors and details of a building. Facades facing a street or common open space shall receive special emphasis with regard to the placement and number of windows provided, at the discretion of the DRC.

Windows shall be vertically proportioned with a minimum height of 6'-0" provided for the first floor level for all residential buildings. Bay windows shall only be used if appropriate to the scale, massing and design of a building.

Where Estate Lots or non-residential buildings are located on corners with windows on facades facing multiple streets, or located fronting onto or facing a common open space, snap-on grills shall not be permitted. All windows shall have double insulated glazing and may be wood, vinyl cladwood or vinyl. If vinyl windows are used, such windows shall be Primecel or equivalent, as determined by the DRC.

Shutters

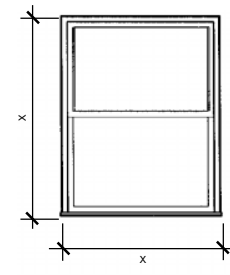
Where appropriate to the design of a building, paneled or louvered shutters shall be provided on all windows visibly exposed to a street or common open space. Shutters shall be sized to match actual window size. Single shutters shall not be used on double or larger windows.

Shutters shall be mounted with hinges and held with shutter dogs on Estate Lots and non-residential buildings. Shutters on other buildings shall appear to be operable through the use of non-visible fasteners that create a slight projection where the shutter is affixed to the outer edge of the window.

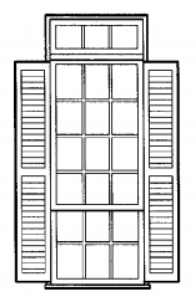
Shutter style shall exactly match the window style.

✗ Inappropriate Windows and Dormers

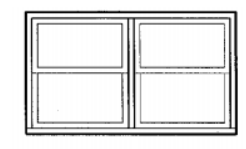
NO



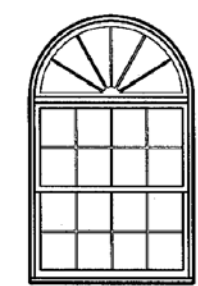
✗ Inappropriate window height / width ratio.



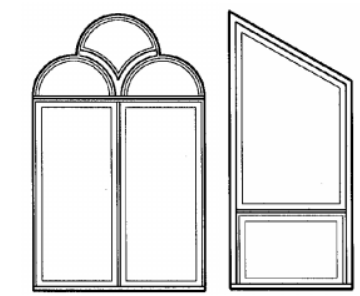
✗ Shutter size does not match window style. Transom is too short.



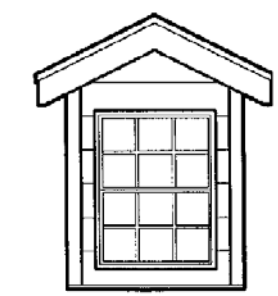
✗ "Short" double hung windows are inappropriate.



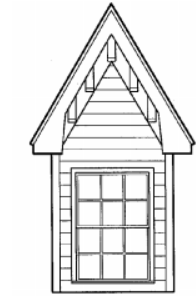
✗ Full arched windows are appropriate only when used in historically-based architectural styles.



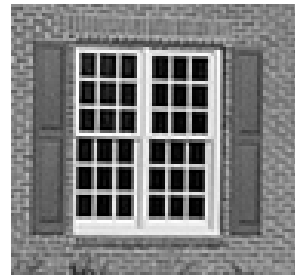
✗ "Trendy" window styles are inappropriate.



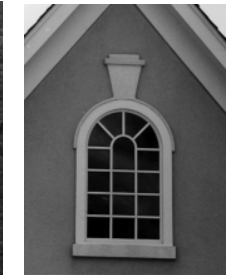
✗ Examples of inappropriately scaled and detailed dormers, windows, and details.



✗ Shutters that do not match the window size are inappropriate. In addition, shutters sized for a single window shall not be used on double windows.



✗ The scale, proportion, location or details are inappropriate on these windows.



✗ This hodgepodge of mismatched elements is totally inappropriate.

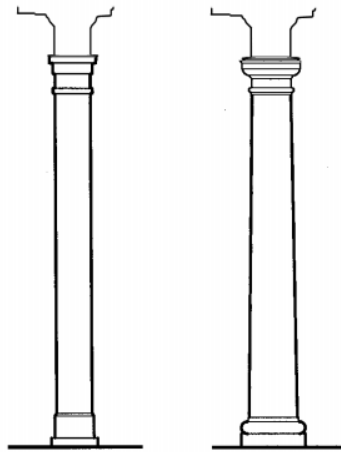


✗ This inappropriate dormer is located against a gutter and lacks properly proportioned details.

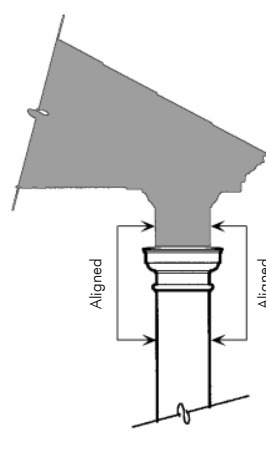
Note: Details shown for informational purposes only. Window and dormer details shall be submitted with the plans for each home regardless of whether such details match those on this page or represent a design of comparable quality materials and details. Such details shall be appropriate to the architectural design of the building.

✓ Appropriate Columns, Cornices & Rakes

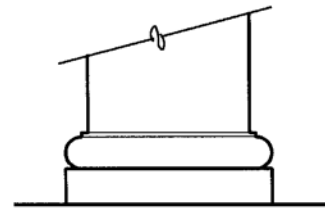
YES Columns, Cornices & Rakes



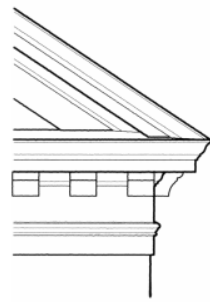
✓ Whether job-built or manufactured, columns shall follow 'classic' time-tested scale and proportions appropriate for the style of the building.



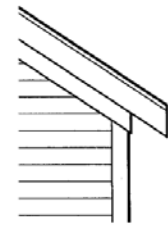
✓ Outside face of frieze board or beam shall align with shaft of column. Column cap shall project beyond face of frieze board or beam (both sides).



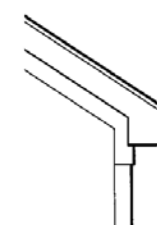
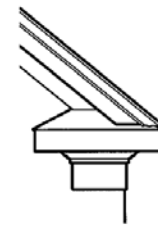
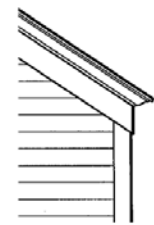
✓ A column base shall be solid stone, brick or wood.



✓ Where appropriate to the style of a building, gable ends shall have properly detailed cornice returns.



✓ Traditionally scaled and detailed cornices shall follow time-tested proportions.



The exterior of a building shall be articulated through the use of properly proportioned and detailed columns, cornices and rakes following time-tested principles.

A cornice may be used as a cap at the top of a building wall if appropriate to the design of the building. A cornice shall be proportioned to define the top of the building wall, but not overpower the facade elements beneath, and shall project out horizontally from the vertical wall plane to create depth and shadow on the facade.

Aluminum columns are not allowed unless they are properly proportioned and detailed, as determined by the DRC.



✓ Well detailed posts and columns create sculptural focal points in corner locations.



✓ An appropriate example of a well detailed column capital.



✓ This column base is set appropriately on a well-detailed brick landing. Note how the iron balustrade is attached to the column.



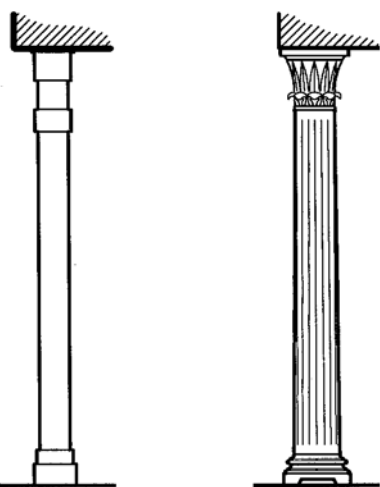
✓ These roof overhangs create a rich level of depth and shadow on the facade.



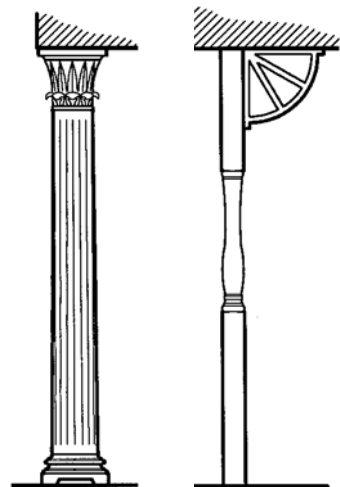
✓ The appropriate cornice returns on this center gable are proportioned to define the projecting bay of the building without crowding the window centered within it.

✗ Inappropriate Columns, Cornices & Rakes

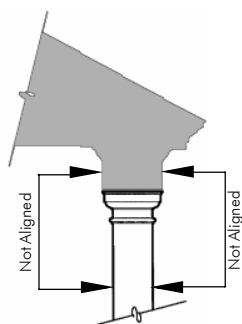
NO



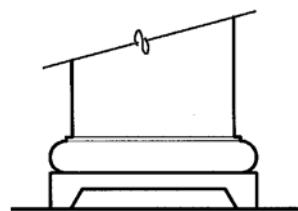
✗ Job-built columns which do not follow "classic" scale, proportion and details are inappropriate.



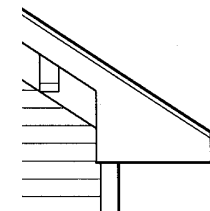
✗ Highly detailed columns are only appropriate if properly scaled and proportioned on accurately detailed buildings of an historically-based style.



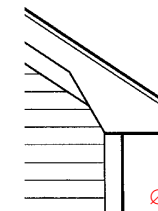
✗ It is inappropriate for the outside face of frieze board or beam to not align with shaft of column.



✗ Visible aluminum vent blocks are inappropriate.



✗ Do not terminate deep overhangs with an oversized "box" cornice detail.



✗ Angled returns are inappropriate.



✗ Awkward proportioned and detailed cornices are inappropriate.

Note: Details shown for informational purposes only. Columns, rake and cornice details shall be submitted with the plans for each home regardless of whether such details match those on this page or represent a design of comparable quality materials and details. Such details shall be appropriate to the architectural design of the building.

✓ Appropriate Garage Design & Siting



✓ Varied paving materials and colors can break down the scale of paved driveways.



✓ A porte cochere can be used to provide covered convenience at a side door.



✓ This driveway is concrete between the street edge and the continuous concrete sidewalk; the remainder of the driveway is bituminous.



✓ Wheel strips, or ornamental paving, can create a driveway that is less visually obtrusive where it crosses a yard area.



✓ Recessed garage doors are less visible when shaded by a deep roof overhang.



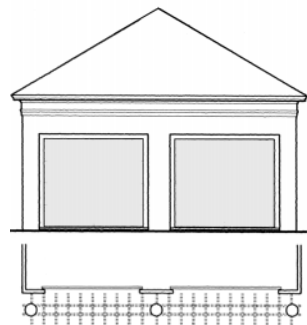
✓ Front access garages shall be recessed behind the primary facade and shaded by a minimum 2'-0" overhang or trellis.



✓ The garage set perpendicular to the house helps enclose this patio space extending from the living room.



✓ Accessory dwellings and bonus rooms are located within the garage attic areas along this alley.



✓ Separated garage doors can make a garage look more residential in appearance.



✓ This yard is enclosed and defined by the garage wing that extends to the alley. The garage complements the house, but is of a simplified design.

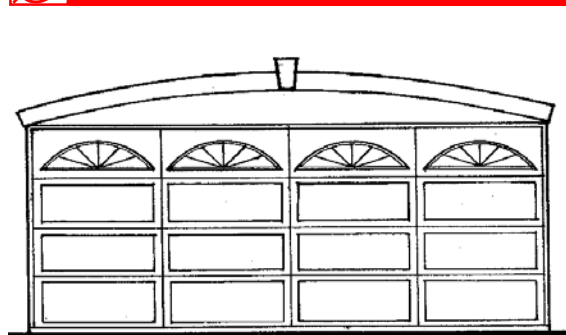


✓ A variety of garage and parking arrangements should be provided to create a more visually interesting alley.



✓ This alley has architectural variety and appropriate fencing and landscaping.

✗ Inappropriate Garage Design & Siting



✗ Cornice treatments and garage doors should be proportioned and detailed according to the architectural design of the building. False arched window inserts should not be used in garage doors.



✗ Avoid inappropriately mixed roof forms, such as those that combine gables and hip. Various trim detail sizes create an irregular appearance.



✗ The unfinished fences, unscreened utility meters and lack of landscaping create a barren appearance along this alley.



✗ This alley attempts to soften its appearance but is inappropriately detailed and landscaped.

YES Garage Design & Siting

Garages

A variety of garage and parking arrangements should be provided to create more visually interesting streets and alleys. The pattern for driveway locations shall be established for each block by the DRC.

It is encouraged that the garage location help enclose a privacy area in the rear or side yard that can be used for patios and other outdoor living spaces.

Front Entry & Side Entry Garages

The location, massing and scale of a garage shall not compete with or overwhelm the main body of a building. The siting of a garage on a corner lot requires additional consideration. Garages shall be located to the rear of the lot to the extent possible. Front entry garages shall be recessed a minimum of 7'-0" behind the front face of the main body of the building. Side entry garages shall be recessed a minimum of 7'-0" behind the nearest front face of the main body of the building. Three car, front entry garages are permitted only with special approval of the DRC.

Garage forms, design and detailing shall be similar in quality to the primary facade elements of the building. The face of front entry garage doors shall be shaded by a minimum 2'-0" deep overhang or trellis. If a garage is recessed to the rear of the lot behind the main body of the building, the DRC may waive this requirement.

Side entry garages are permitted so long as the faces of side entry garage doors are set back a minimum of 23'-0" from a side lot line and are recessed a minimum of 7'-0" behind the nearest front face of the main body of the building.

Driveways

Driveways shall be a maximum of 9'-0" in width between the curb and the lot line. Alley driveways shall be constructed entirely of bituminous paving, unless an alternative is approved by the DRC. Non-alley driveways between the curb line and the street edge of the sidewalk shall be concrete. Sidewalks shall also be concrete in their entirety. The remainder of each non-alley driveway shall be constructed of bituminous paving, unless an alternative is approved by the DRC. On flag lots, the driveway within the pole or stem portion of the lot shall be a maximum of 9'-0" in width.

Alley Garages

Driveway access to primary or side streets is not allowed on lots which abut an alley. Garage forms, design and detailing shall compliment the primary facade elements of the building, but may be simpler than those primary facade elements.

Garages shall be setback a minimum of 5'-0" from the alley property line.

Along the rear facade of each garage, a minimum of one exterior incandescent light fixture, 75 watt maximum, located at a maximum height of 7'-0" and operated by photocell shall be provided.

NO

✓ Appropriate Fencing & Walls

YES



✓ Picket fences are more attractive with taller posts with decorative caps.



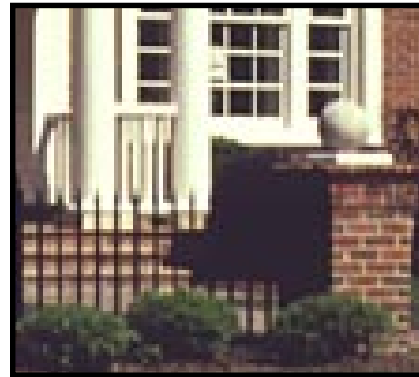
✓ Patios can be enclosed by a semi-private brick wall that frames a metal fence.



✓ The solid wood fence enclosing this rear yard has a decorative cap.



✓ This combination facade fence and wall encloses a side yard courtyard to the right of the home.



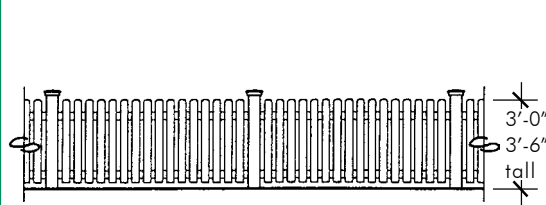
✓ Metal fences in excess of 40'-0" in length shall have masonry piers at appropriate intervals.



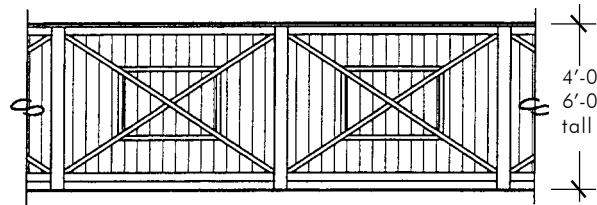
✓ This metal fence is articulated by masonry piers topped with finials.



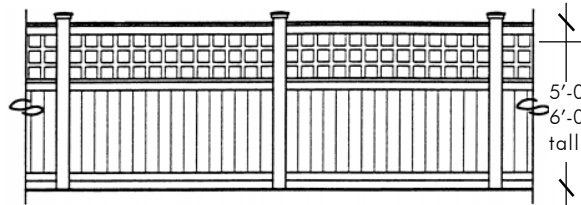
✓ This semi-private fence appropriately separates the rear yard from the alley.



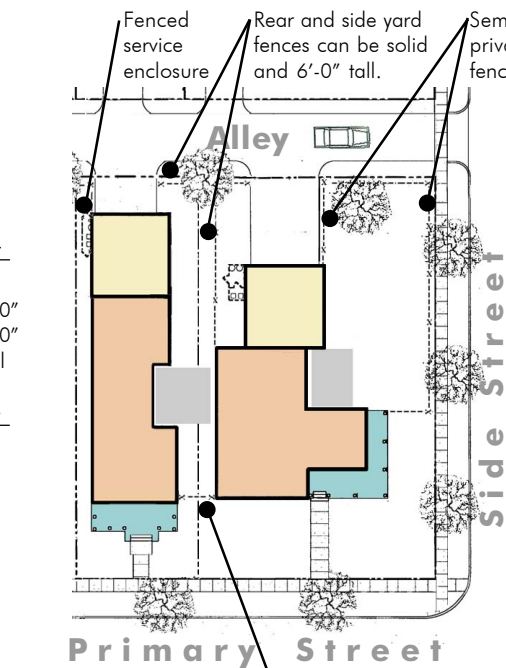
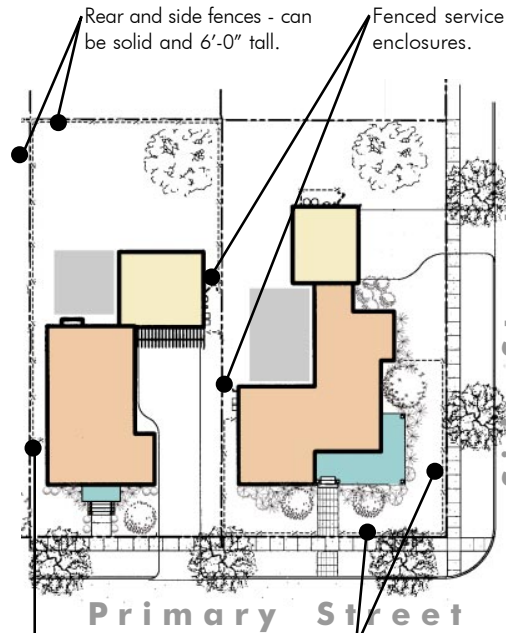
✓ **Front yard fence:** Simple picket fences can be used in all yard areas, but are particularly appropriate for front yards.



✓ **Side and rear yard fence:** Where exposed to public view, a solid privacy fence shall be detailed. This wood fence with battens is appropriate for side and rear yards, except along streets or common open space.



✓ **Semi-private yard fence:** Utilizes 2/3 solid wood below with 1/3 non-solid above.



Fencing & Walls

Fences and walls shall be architecturally compatible with the design, materials and colors of the principal building on the same lot. All fences and walls shall be designed so that a finished side faces outward from the property on which it is located. Where a finished side has greater exposure to public view, such as a lot fronting or facing a common open space, the detailing and finish shall be of higher quality. On special lot conditions, the DRC may require a special treatment or, in some instances, no treatment shall be allowed.

Front Fences & Walls

Front fences and walls shall be located 6" inside the front lot line. Fences in front yards shall be non-solid wood picket or decorative metal types with a maximum height of 3'-6". Fence posts and gateways may have a maximum height of 4'-0". Taller features, such as a trellis entryway, shall require a waiver from the DRC. Metal fences greater than 40'-0" feet in length shall require masonry piers at appropriate intervals.

Walls in front yards shall be brick or another approved masonry material with a maximum height determined by the DRC based on grading conditions. Handrails of a design appropriate to both the design of the building and the design, color, materials and details of the wall shall be provided if required by code.

Side and Rear Fences & Walls

Side and rear fences and walls shall be located 6" inside the side or rear lot line, as applicable. Fences and walls in side and rear yards shall be of complimentary, but simplified design to front fences and walls, and may include solid or non-solid wood, PVC, metal or masonry types with a maximum height of 6'-0". Piers, fence posts and gateways shall have a maximum height of 7'-0". A side yard fence or wall shall be set back a minimum of 8'-0" behind the nearest front face of the main body of the building.

Semi-Private Fences & Walls

A semi-private fence or wall may be used to enclose and make more usable any yard area facing a street or common open space, in locations approved by the DRC. Semi-private yard fences or walls shall be permitted in any yard adjacent to an alley.

Semi-private fences or walls shall be wood or brick topped with wood or decorative metal fencing, with a maximum height of 6'-0". No greater than the bottom 4'-0" shall be solid with the upper portion a minimum of 50% non-solid. If such a fence or wall is greater than 20'-0" in length, masonry piers may be required by the DRC. Piers, fenceposts and gateways shall have a maximum height of 7'-0".

Facade Fences and Walls

A fence or wall, either solid or non-solid and constructed of wood, metal and/or masonry with a maximum height of 8'-0" may be provided adjacent to or behind the front face of the main body of the building in order to enclose a side yard space. A gateway may be incorporated and the design shall be compatible with the architectural design of the adjacent neighboring building as well as the principal building on the same lot. The base of such structures shall be extensively landscaped.

Service Enclosures

Where a wall or fence is used to screen utility meters, refuse containers and A/C compressors from public view, such screening device shall not contain a locking gate which would prevent utility company employees from entering.

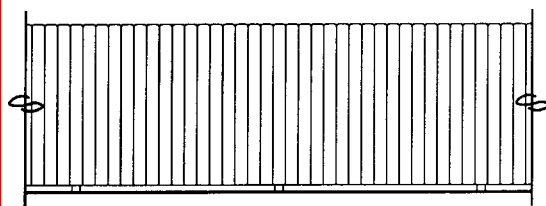
General

A wall or fence shall not exceed 3'-6" in total height within a clear sight triangle. A planting strip a minimum of 1'-6" in width containing ground cover other than lawn shall be maintained between any fence or wall and a sidewalk or an alley right-of-way. All solid fences shall have a decorative cap and detailing. Chain link fencing is prohibited.

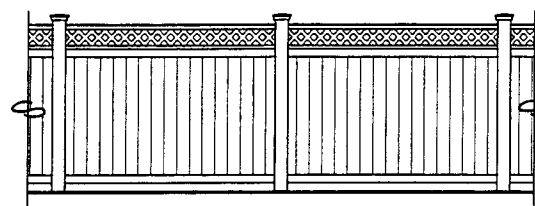
Features taller than the maximum heights specified above, such as a trellis or pergola entryway, may be permitted by the DRC where such feature enhances the streetscape.

✗ Inappropriate Fencing & Walls

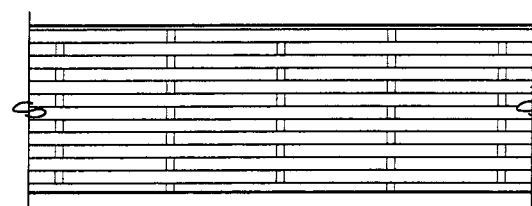
NO



✗ Typical stockade or cedar fence that lacks any element of detailing is inappropriate.



✗ Appropriate design concept, however, inappropriate proportions for the solid and non-solid portions used.



✗ 'Shadow Box' fences are too horizontal in appearance.

✓ Appropriate Yards & Landscaping

YES

Yards & Landscaping



✓ These foundation plantings and regular, geometrically-shaped planting beds reinforce the architectural lines of the building.

✓ The front walkway and entry, as well as the overall streetscape, are reinforced by these planting beds with varied materials.

✓ Wrap-around porches that are integrated as a focal point within the total front yard design are encouraged on corner lots.

✓ Foundation plantings shall include evergreen shrubs to add green to the streetscape during winter months.



✓ These front yards contain lawn, shrubs and flowering trees that compliment the architecture.

✓ A side yard space does not have to be large to offer both open and covered areas with privacy.

✓ Foundation planting shall be used to define and soften the base of all buildings exposed to a street or common open space.

✓ Side yard spaces can be designed to be more passive. A more intensive mix of plant materials can also increase privacy.



✓ This semi-covered patio is partially enclosed by the garage wing, blocking neighboring views. Climbing vines and a low hedge provide a soft, lush accent.

✓ The building "ell" is used to create this semi-private outdoor living space.

✓ A brick wall is used to enclose a highly private garden courtyard. This can be incorporated into a side or rear yard on any size lot.

✓ This compact yard includes both a covered porch and a patio. The porch wing extends out to enclose both the porch and patio as a private space.

Landscaping

All buildings and lots shall be appropriately landscaped. Landscaping shall include suitable combinations of street trees, shade trees, flowering trees, specimen trees, shrubbery, perennials and/or lawn. The planting scheme for each building and lot shall generally use a limited palette of materials and avoid excessive variety.

Front Yards

The front yard of each building shall be planted as a unified landscape design that generally reinforces the architectural lines of the building and streetscape. Plant materials including lawn, flowering trees, specimen trees, shrubbery, perennials and/or annuals shall have colors, textures and shapes that compliment the architectural design of the building. Flowering ornamental trees, shrubs and other plantings that add seasonal color are strongly encouraged. Irrigation systems will be provided where necessary.

Side and Rear Yards

Side yards should generally complement front yards, where such is visible from a sidewalk or walkway. Where a side or rear yard is visibly exposed to a street or common open space, or on special condition lots, special landscaping and fencing treatments may be required by the DRC.

Each single family dwelling unit shall be provided with a side or rear yard outdoor area enclosed by means of the building, a fence, screen, wall, hedge or some combination of the same, which shall contribute to privacy from neighboring dwelling units and yards. It is encouraged that building and garage footprints be designed and varied to create privacy areas.

On alley lots, the space between the property line and the alley pavement shall be landscaped with trees, grass, ground cover, shrubbery and/or perennials.

✗ Inappropriate Yards & Landscaping

NO



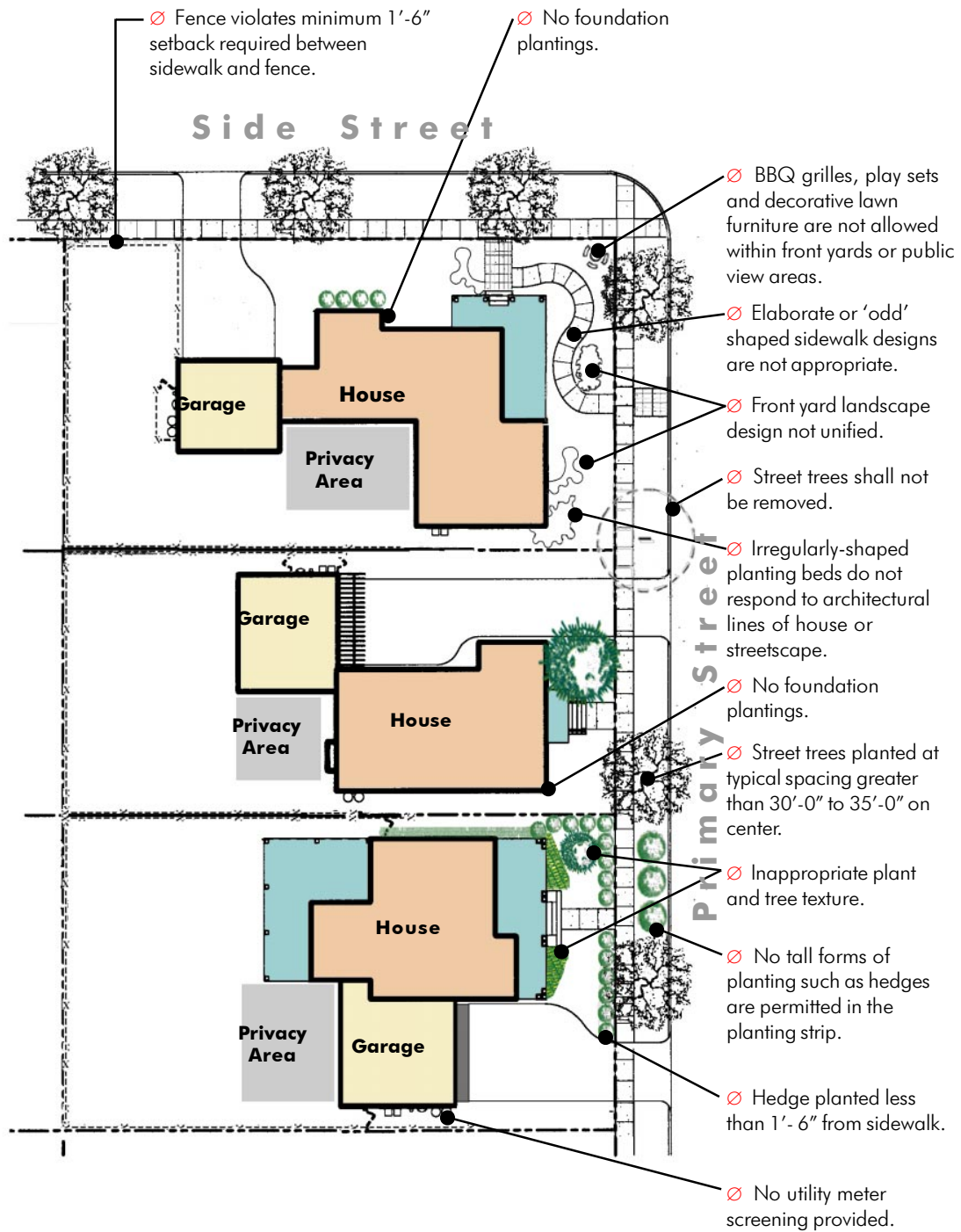
✗ The patchy landscaping does not compliment the architecture or define walks and yards, and contributes to this barren streetscape appearance.

✗ Entrance and porch are inappropriately screened by the tree. Palette of plant materials and irregular planting beds create a "busy" appearance.

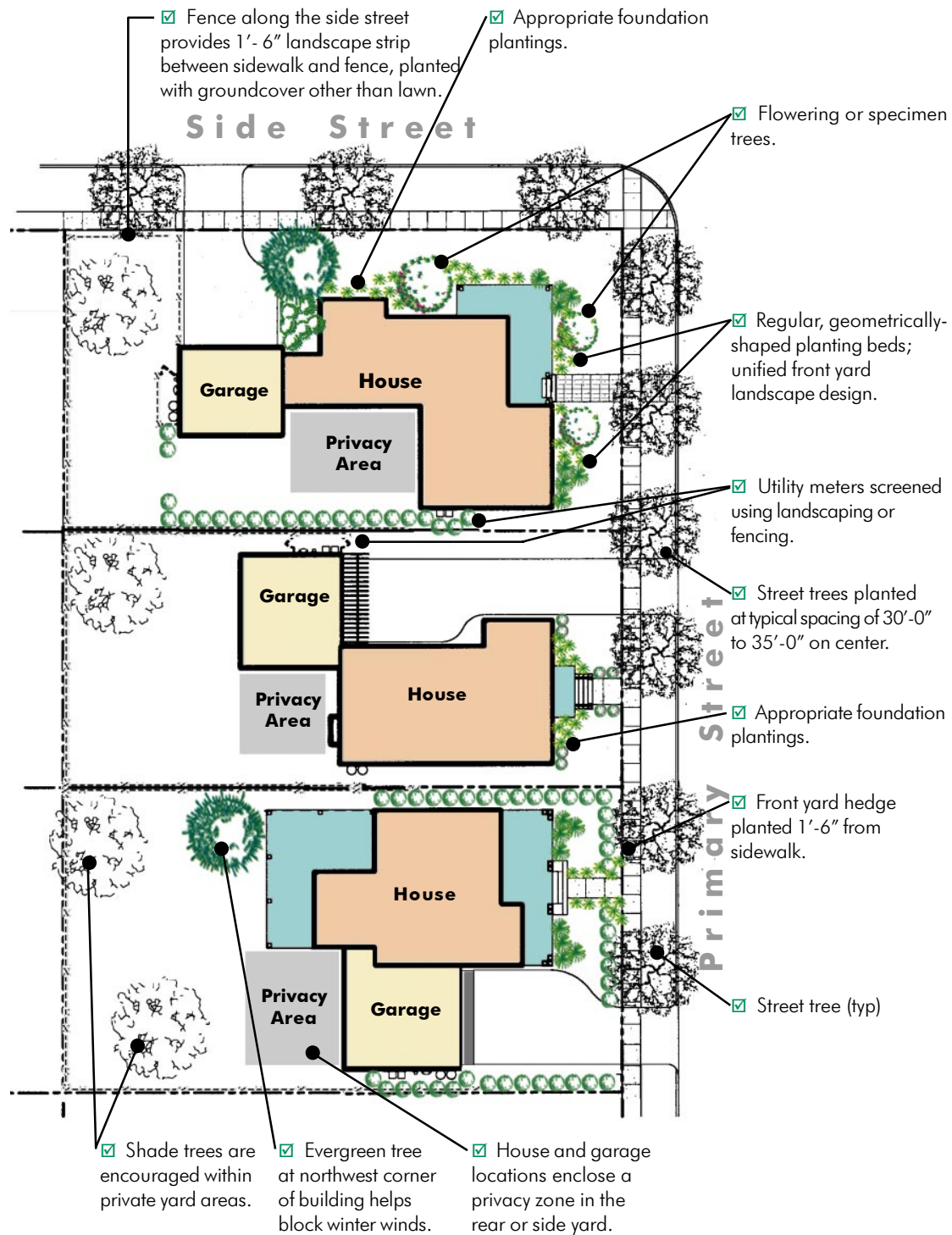
✗ This exposed foundation is not screened with appropriate foundation plantings, including evergreen shrubs. No front walkway is provided.

✗ Avoid irregularly shaped landscape beds, plantings and walkways that do not reinforce the architecture and streetscape.

⊘ Inappropriate Yards & Landscaping NO



✓ Appropriate Yards & Landscaping YES



Yards & Landscaping Estate, Village & Cottage Lots

Planting Strips and Street Trees

A common planting strip shall be provided along each street between the curb and sidewalk. Street trees shall be planted within the planting strip at a typical spacing of 30'-0" to 35'-0" on center, as shown on the final site plan. The DRC, at its discretion, may modify street tree locations, on a per unit basis, during architectural review. The minimum size of street trees shall be 3" in caliper. Grass or other specified ground cover shall also be planted within the planting strip.

Front Yard

Front yards shall contain, at a minimum, lawn or other groundcover, shrubbery, flowering or specimen trees and perennials and/or annuals. Planting beds shall generally be regular and geometrically shaped. The location of landscape elements in each front yard shall reinforce the architectural lines of the building and streetscape.

Front yards may have a hedge provided that its minimum height does not exceed 3'-6" and that its outer edge is pruned to maintain a minimum setback of 1'-6" from the sidewalk. The area between a hedge and sidewalk shall be planted with ground cover or perennials other than grass.

Foundation Plantings

The visible exposed base of all residential buildings shall be planted with primarily evergreen shrubbery, a minimum of 2'-0" tall and 3'-0" on-center. If a brick base is provided on the building, then foundation plantings may be reduced.

Flowering or Specimen Trees

One per lot is strongly encouraged. Flowering ornamental plantings for seasonal color are also strongly encouraged.

Shade Trees

Shade trees are encouraged within the private areas of the lot.

Evergreen Trees

Evergreen trees are encouraged on the north side of buildings, where practical, to help block winter winds.

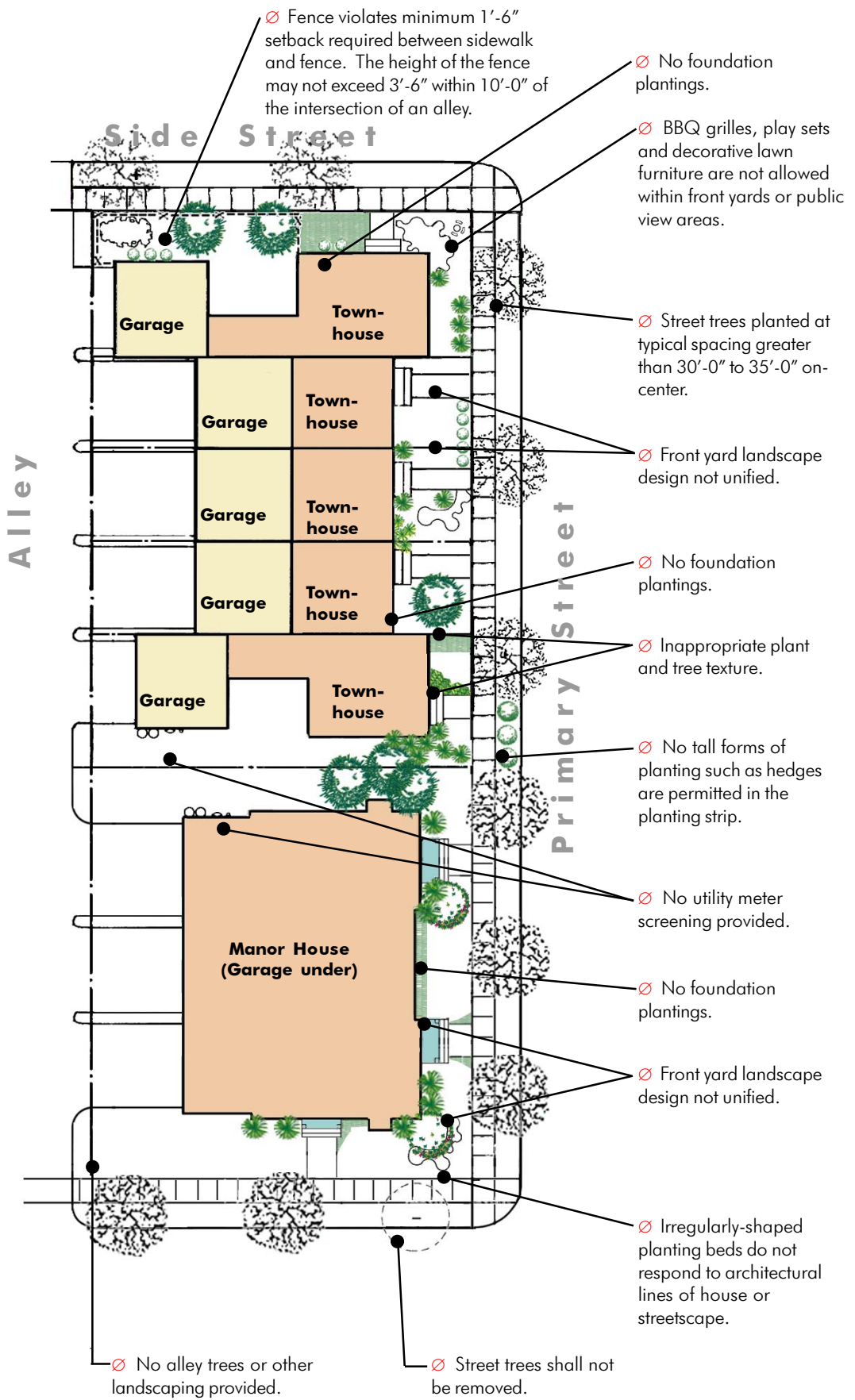
Alley Landscaping

On alley lots, the space between the property line and the alley pavement shall be landscaped with a combination of trees, grass, ground cover, shrubbery or perennials. There shall be a minimum of one (1) alley tree per lot, or if approved by the DRC, combinations of other plantings of equal cost, such as shrubbery, flowering or specimen trees, or perennials. The minimum size of alley trees shall be 3" in caliper.

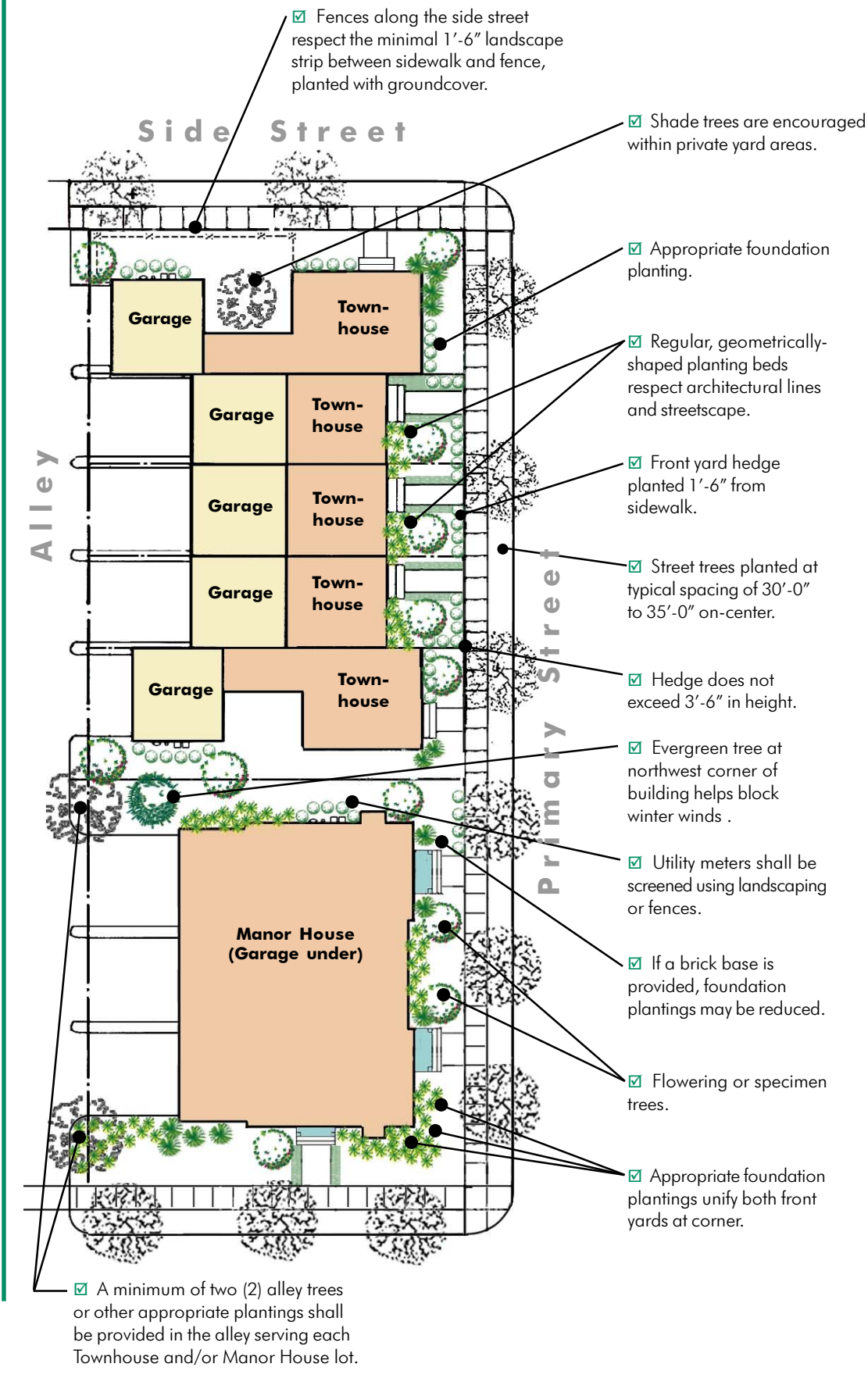
Other Elements

Statuary, ponds, fountains, water gardens, bird baths, rock gardens, large rocks, boulders, barbecue grills, play equipment, decorative lawn furniture and other similar features shall not be permitted in front yard areas unless the DRC determines that such feature is suitably located or screened from public view. On corner lots, such features may be permitted facing the side streets if the DRC determines that such feature is suitably located or screened from public view.

⊘ Inappropriate Yards & Landscaping NO



✓ Appropriate Yards & Landscaping YES



Yards & Landscaping Townhouses & Manor Houses

Planting Strips and Street Trees

A common planting strip shall be provided along each street between the curb and sidewalk. Street trees shall be planted within the planting strip at a typical spacing of 30'-0" to 35'-0" on center, as shown on the final site plan. The DRC, at its discretion, may modify street tree locations, on a per unit basis, during architectural review. The minimum size of street trees shall be 3" in caliper. Grass or other specified ground cover shall also be planted within the planting strip.

Front Yard

Front yards shall contain, at a minimum, lawn or other groundcover, shrubbery, flowering or specimen trees and perennials and/or annuals. Planting beds shall generally be regular and geometrically shaped. The location of landscape elements in each front yard shall reinforce the architectural lines of the building and streetscape.

Front yards may have a hedge provided that its minimum height does not exceed 3'-6" and that its outer edge is pruned to maintain a minimum setback of 1'-6" from the sidewalk. The area between a hedge and sidewalk shall be planted with ground cover or perennials other than grass.

Foundation Plantings

The exposed base of all residential buildings visible from the sidewalk along a street or common open space shall be planted with primarily evergreen shrubbery, a minimum of 2'-0" tall and 3'-0" on-center. If a brick base is provided on the building, then foundation plantings may be reduced.

Flowering or Specimen Trees

One per main entry in a multiple unit residential building is strongly encouraged. Flowering ornamental plantings for seasonal color are also strongly encouraged.

Shade Trees

Shade trees are encouraged within private areas.

Evergreen Trees

Evergreen trees are encouraged on the north side of buildings, where practical, to help block winter winds.

Alley Landscaping

On alley lots, the space between the property line and the alley pavement shall be landscaped with a combination of trees, grass, ground cover, shrubbery or perennials. There shall be a minimum of two (2) alley trees per Townhouse or Manor House building, or if approved by the DRC, other combinations of plantings of equal cost, such as shrubbery, flowering or specimen trees, or perennials. The minimum size of alley trees shall be 3" in caliper.

Other Elements

Statuary, ponds, fountains, water gardens, bird baths, rock gardens, large rocks, boulders, barbecue grills, play equipment, decorative lawn furniture and other similar features shall not be permitted in front yard areas unless the DRC determines that such feature is suitably located or screened from public view. On corner lots, such features may be permitted facing the side streets if the DRC determines that such feature is suitably located or screened from public view.

✓ Appropriate



✓ This Victorian-inspired home responds to its corner location with a wrap-around porch and turret.



✓ Window details and the change in materials in the gables is historically based. Garage access is discretely to the side at the rear.



✓ This simple mass is accented by a projecting central bay containing a well-detailed arched entry.



✓ A sun room on the left side of this house provides visual interest and lightens up to the massing facing the street.



✓ This simplified Victorian uses massing, window placement and a wrap-around porch to respond to its more prominent corner location.



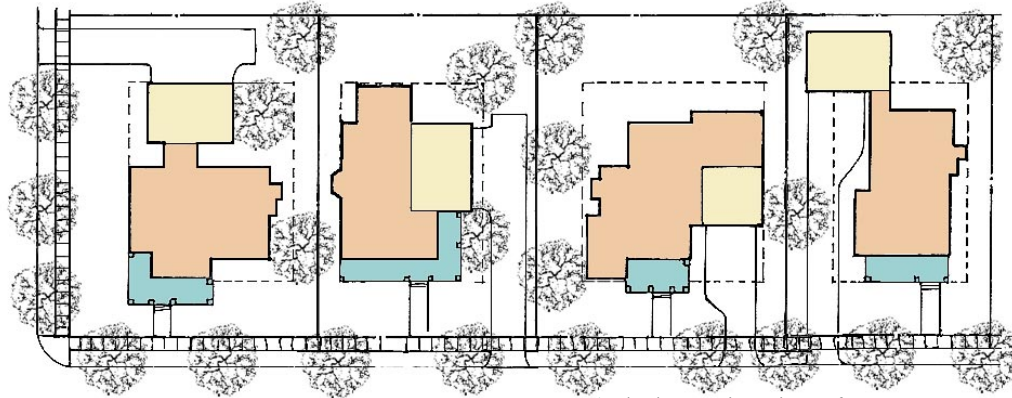
✓ Overall scale, proportion, details, window sizes, heights, raised porch and use of materials are all appropriate.



✓ Tall windows and doors with raised porch beam height provide appropriate vertical scale to the two-story veranda.



✓ Recessed garage is tied to the main body by the wrap-around porch. The driveway is kept narrow across the front yard.



✓ The wrap-around porch at right extends 8'-0" into the front yard setback. The mass of the three-car garage is separated from the main body of the house and connected via mud/utility room.

✓ The above side-entry garage is set back 23'-0" from the side lot line.

✓ The house above has a front access garage set back more than 20'-0" feet from the front property line and more than 7'-0" from front face of home.

✓ The garage portion of the house at left extends into the side and rear setbacks to within 5'-0" of the property lines.

YES

Estate Lots

- Min. Lot Area:** 7,500 sq. ft.
- Min. Lot Width at Front Setback:** 70 ft.
- Min. Front Yard Setback:** 20 ft.
- Min. Side Yard Setback:** 5 ft. one/16 ft. combined
- Min. Rear Yard Setback:** 25 ft.
- Maximum Height:** 40 ft. to mean height of roof

Extensions & Projections

Porches, stoops and steps may project a maximum of 8'-0" into a required front yard setback. A second floor balcony may project a maximum of 8'-0" into a required front yard setback, provided it is located above a ground level porch with the same projection. Porches (both one and two-stories) and decks may project a maximum of 10'-0" into a required rear yard setback, provided that any such porch or deck shall be set back from the rear lot line at least 5'-0".

A garage or the garage portion of a structure (including ancillary areas such as mud rooms, laundry rooms, storage, hallways, and the like) may extend into a side or rear yard setback to within 5'-0" of the property line, and such extension may include residential living space above the garage (including, but not limited to, an accessory dwelling). Such living space located above a garage extension shall be carefully designed with regard to the location, number, size, and sill height of windows in order to minimize views toward neighboring windows and privacy areas on adjacent lots, as determined by the DRC.

Whether attached to (or located within) the principal dwelling Unit or located in a detached structure, the accessory dwelling shall have a 5'-0" rear and/or side yard setback.

Cornices, eaves, gutters, bay windows and chimneys may project a maximum of 2'-0" from an exterior building wall into any required yard setback, provided that any such projection shall be set back from the side lot line at least 3' -0".

Parking

Each lot shall provide a minimum of two parking spaces within a garage. Front access garages shall be setback a minimum of 20'-0" from the front property line and shall be recessed a minimum of 7'-0" behind the front face of the main body of the building. Side entry garages are permitted so long as the faces of side entry garage doors are set back a minimum of 23'-0" from a side lot line and are recessed a minimum of 7'-0" behind the front face of the main body of the building.

Variations

Yard setbacks may vary in accordance with Special Conditions set forth on sheets 20 and 21, and/or with Special Open Space Conditions set forth on sheet 22.

Setbacks may be increased from those shown on the final site plan at the discretion of the DRC, based upon the location of the lot, the streetscape, the size and type of home, garage orientation, exterior finish materials and similar considerations.

The maximum height requirements specified above may be waived by the DRC for the erection of building appurtenances such as chimneys, spires, turrets, cupolas, belfries and towers designed for ornamental purposes to articulate the design of a building, especially if appropriate to an historically-based style.

✗ Inappropriate



✗ The pediment is out of scale with narrow posts in the wrong location. The garage mass protrudes in front of the main body of the house.



✗ Overall proportions are awkward. Roof mass, front entry, window heads and trim, cornice details, finish floor level, and brick quoins are all inappropriate.



✗ This house is a confusing jumble of elements and details where each component screams for attention in relation to others. A simple composition is less costly.



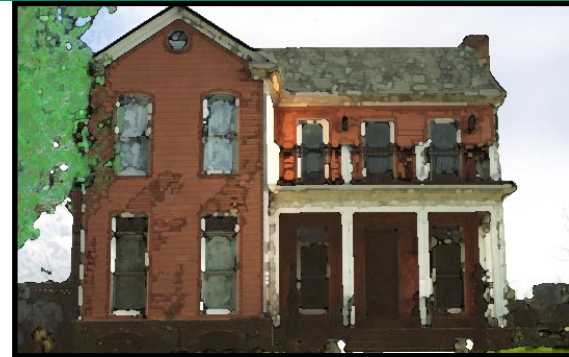
✗ The garage portion of this house extends forward of the main body. The width of the garage gable dominates the front facade, overpowering the porch and brick gable.

NO

✓ Appropriate



✓ The curb appeal of this simple, vernacular-type Victorian home is created by the full-length front porch and complimentary picket fence.



✓ The end gable form, cornice treatment and tall vertical proportions connect this new home to the historical Italianate style.



✓ The bay window seamlessly integrated into the forward gable, is balanced by a porch and pergola to achieve a richly detailed composition. Note the eave and rake details.



✓ The double gable massing and simplified porch columns update the vernacular style of this house. Note the shaded garage doors.



✓ This is a simple, cost-effective building form where details are applied only to the front facade. The attached garage is placed far enough from the street that it does not require screening.



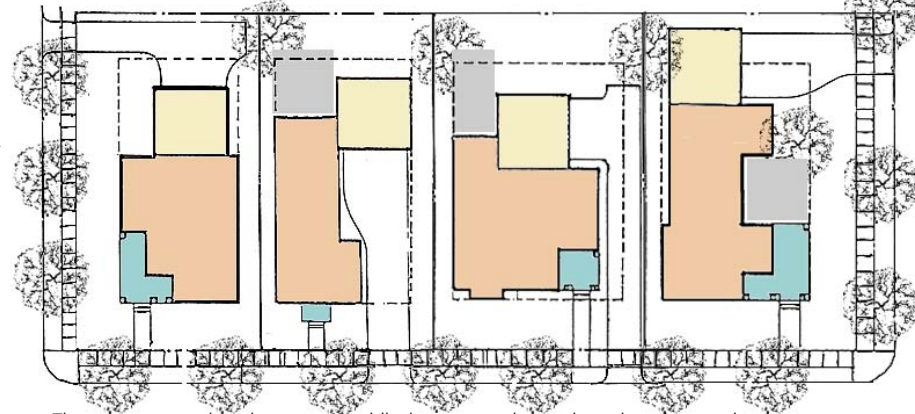
✓ This Tudor-style house successfully balances its asymmetrical forward gable with a single offset with well-proportioned windows and dormer.



✓ This rich composition uses projecting gables to accent a square mass, strong but simple porch columns, deep overhangs for shadows, and a change in materials from brick to siding.



✓ A front-access garage steps back on the left side, but echoes the overhang and shadow effect of the front porch, which helps it blend into the overall facade composition.



✓ The building footprint, porch, and garage set back behind the nearest front building face, respond to and emphasize this corner location.

✓ The garage portion of this house extends into the rear setback to within 5'-0" of the rear lot line.

The garages on the above two middle homes are located so that they enclose a privacy zone extending into the rear yard. This area makes an ideal enclosure for patios or decks that flow from interior living space.

YES

Village Lots

- Min. Lot Area:** 5,000 sq. ft.
- Min. Lot Width at Front Setback:** 50 ft.
- Min. Front Yard Setback:** 15 ft.
- Min. Side Yard Setback:** 5 ft. one/ 12 ft. combined
- Min. Rear Yard Setback:** 15 ft.
- Maximum Height:** 40 ft. to mean height of roof

Extensions & Projections

Porches, stoops and steps may project a maximum of 8'-0" into a required front yard setback. A second floor balcony may project a maximum of 8'-0" into a required front yard setback, provided it is located above a ground level porch with the same projection. Porches may project a maximum of 2'-0" into any required side yard setback, provided that any such projection shall be set back from the side lot line at least 3'-0". A second floor balcony may project a maximum of 2'-0" into a required side yard setback, provided it is located above a ground level porch with the same projection, and provided that any such projection shall be set back from the side lot line at least 3'-0". Porches (both one and two-stories) and decks may project a maximum of 10'-0" into a required rear yard setback, provided that any such porch or deck shall be set back from the rear lot line at least 5'-0".

A garage or the garage portion of a structure (including ancillary areas such as mud rooms, laundry rooms, storage, hallways, and the like) may extend into a side or rear yard setback to within 5'-0" of the property line, and such extension may include residential living space above the garage (including, but not limited to, an accessory dwelling). Such living space located above a garage extension shall be carefully designed with regard to the location, number, size, and sill height of windows in order to minimize views toward neighboring windows and privacy areas on adjacent lots, as determined by the DRC.

Whether attached to (or located within) the principal dwelling Unit or located in a detached structure, the accessory dwelling shall have a 5'-0" rear and/or side yard setback.

Cornices, eaves, gutters, bay windows and chimneys may project a maximum of 2'-0" from an exterior building wall into any required yard setback, provided that any such projection shall be set back from the side lot line at least 3'-0".

Parking

Each lot shall provide a minimum of two parking spaces within a garage. Front access garages shall be setback a minimum of 20'-0" from the front property line and shall be recessed a minimum of 7'-0" behind the front face of the main body of the building. Side entry garages are permitted so long as the faces of side entry garage doors are set back a minimum of 23'-0" from a side lot line and are recessed a minimum of 7'-0" behind the front face of the main body of the building.

Variations

Yard setbacks may vary in accordance with Special Conditions set forth on sheets 20 and 21, and/or with Special Open Space Conditions set forth on sheet 22.

Setbacks may be increased from those shown on the final site plan at the discretion of the DRC, based upon the location of the lot, the streetscape, the size and type of home, garage orientation, exterior finish materials and similar considerations.

The maximum height requirements specified above may be waived by the DRC for the erection of building appurtenances such as chimneys, spires, turrets, cupolas, belfries and towers designed for ornamental purposes to articulate the design of a building, especially if appropriate to an historically-based style.

✗ Inappropriate



✗ The front entry is buried amidst a series of cascading rooflines and protruding gables, resulting in inappropriate massing and roof form that is also unnecessarily costly.



✗ Finished floor level and window head heights are too low. Shutters are inappropriate on a twin window and the dormer details are incorrect.



✗ This house is lacking a base and a proper cap along the top of the gable. The upper floor windows are undersized, resulting in too much wall in relation to window openings.



✗ The single prominent garage door, complex roof forms, and gable with columns on only one side result in an inappropriate composition that is costly to construct.

NO

✓ Appropriate



✓ Appropriate, simple design, properly utilizing one-story design fundamentals with raised finished floor level.



✓ Central focal points such as well detailed porch, Gothic arched window and gable carpentry details highlight the symmetrical facade with center entrance.



✓ The eaves, gutters and chimneys extend as much as 2'-0" into the side yard setbacks, yet remain 3'-0" minimum from the side lot line.



✓ The window alignment, combined with the rhythm of the appropriately proportioned shutters, emphasizes the vertical proportions of this facade. Note the simple full length porch.



✓ The single offset of the main body of this form accentuates the porch while creating visual interest in a smaller home with a simple cost-effective footprint and massing.



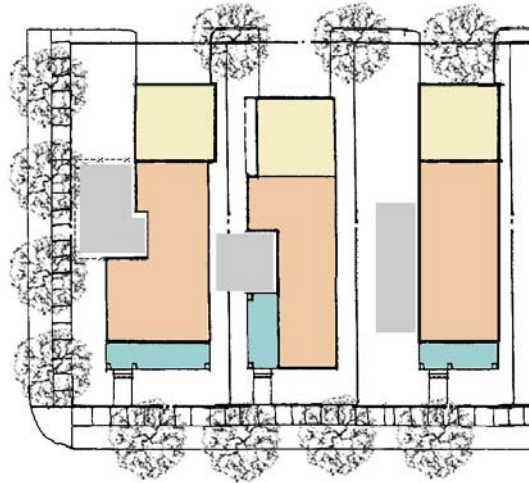
✓ Simple, raised stoop and a rhythm of piers with columns based on historically accurate details for the house style provide a sense of enclosure.



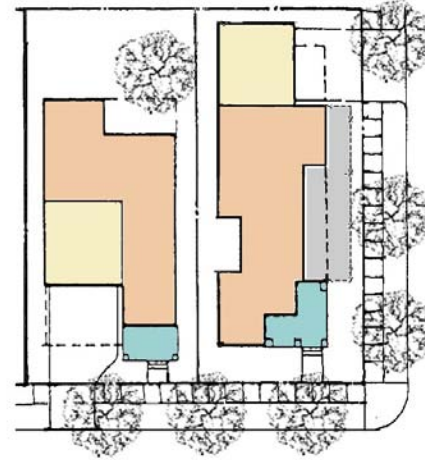
✓ By stacking a balcony on top of the porch, the house creates a more livable master suite, that can take greater advantage of views and its location facing a common open space.



✓ These handsome houses, with facade fences and walls, offer the impression of larger-scale homes.



✓ The corner lot at left provides a fenced privacy area; the other two footprints help create intimate privacy areas.



✓ The interior lot at left provides a generous rear yard; the corner lot at right responds to its double street frontage with a wrap-around porch and patio enclosed by a semi-private fence.



✓ Use of a garage form and materials that are compatible with the architectural quality of the home creates a sense of continuity. Note how the garage wing helps create a private rear yard.

YES Cottage Lots

- Min. Lot Area:** 3,000 sq. ft.
- Min. Lot Width at Front Setback:** 32 ft.
- Min. Front Yard Setback:** 10 ft.
- Min. Side Yard Setback:** 5 ft. each side/10 ft. between exterior building walls
- Min. Rear Yard Setback:** 15 ft.
- Maximum Height:** 35 ft. to mean height of roof

Extensions & Projections

Porches, stoops and steps may project a maximum of 6'-0" into a required front yard setback. A second floor balcony may project a maximum of 6'-0" into a required front yard setback, provided it is located above a ground level porch with the same projection. Porches may project a maximum of 2'-0" into any required side yard setback, provided that any such projection shall be set back from the side lot line at least 3'-0". A second floor balcony may project a maximum of 2'-0" into a required side yard setback, provided it is located above a ground level porch with the same projection, and provided that any such projection shall be set back from the side lot line at least 3'-0". Porches (both one and two-stories) and decks may project a maximum of 10'-0" into a required rear yard setback, provided that any such porch or deck shall be set back from the rear lot line at least 5'-0".

A garage or the garage portion of a structure (including ancillary areas such as mud rooms, laundry rooms, storage, hallways, and the like) may extend into a side or rear yard setback to within 5'-0" of the property line, and such extension may include residential living space above the garage (including, but not limited to, an accessory dwelling). Such living space located above a garage extension shall be carefully designed with regard to the location, number, size, and sill height of windows in order to minimize views toward neighboring windows and privacy areas on adjacent lots, as determined by the DRC.

Whether attached to (or located within) the principal dwelling Unit or located in a detached structure, the accessory dwelling shall have a 5'-0" rear and/or side yard setback.

Cornices, eaves, gutters, bay windows and chimneys may project a maximum of 2'-0" from an exterior building wall into any required yard setback, provided that any such projection shall be set back from the side lot line at least 3'-0".

Parking

Each lot shall provide a minimum of two parking spaces, either within a garage, port cochere or driveway. Tandem parking behind a garage space or port cochere shall be permitted toward meeting this requirement. Front access garages shall be setback a minimum of 20'-0" from the front property line and shall be recessed a minimum of 7'-0" behind the front face of the main body of the building. Side entry garages are permitted so long as the faces of side entry garage doors are setback a minimum of 23'-0" from a side lot line and are recessed a minimum of 7'-0" behind the front face of the main body of the building.

Variations

Yard setbacks may vary in accordance with Special Conditions set forth on sheets 20 and 21, and/or with Special Open Space Conditions set forth on sheet 22.

Setbacks may be increased from those shown on the final site plan at the discretion of the DRC, based upon the location of the lot, the streetscape, the size and type of home, garage orientation, exterior finish materials and similar considerations.

The maximum height requirements specified above may be waived by the DRC for the erection of building appurtenances such as chimneys, spires, turrets, cupolas, belfries and towers designed for ornamental purposes to articulate the design of a building, especially if appropriate to an historically-based style.

✗ Inappropriate



✗ Ceiling and window head heights too low, inappropriate column, cornice and rake details; second floor mass overpowers wall height below.



✗ Front garage extends forward off main entry, and oversized single garage door facing street is inappropriately detailed. Scale of main body is poorly defined by projecting gable end.



✗ Finish floor level is at grade and the porch columns are inappropriately scaled and detailed.



✗ Narrow shutters on double window, overly narrow staircase entry, and transom size are inappropriate details. Note the lack of foundation plantings.

NO

✓ Appropriate



✓ Simple, overall massing roof form with appropriately spaced cross gables that add interest, consistent porch elements, and foundation planting.



✓ Gable end projections with full length porches provide single-family character to the corner of this building.

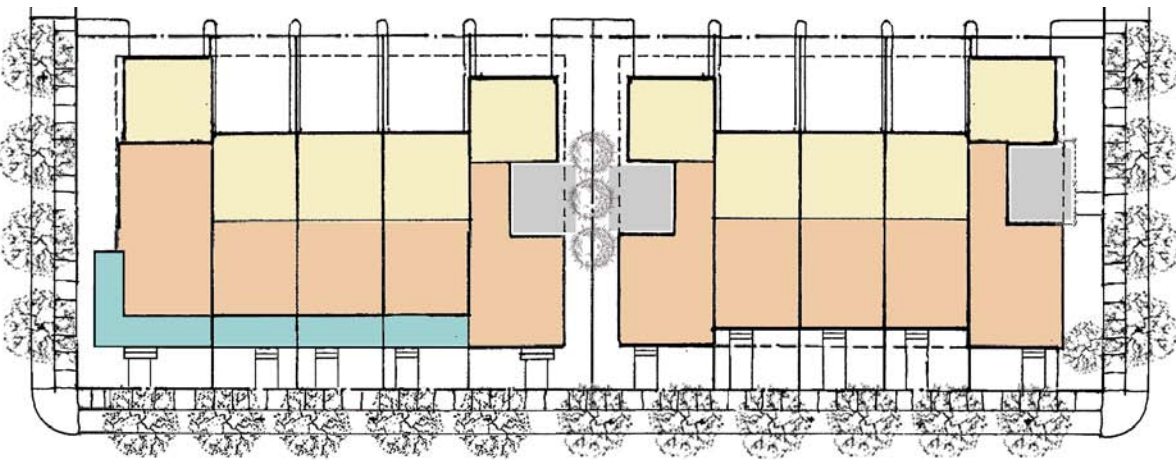


✓ Consistent architectural design, details, colors and materials achieve a balance of both unifying and articulating the front facade.



✓ Black balusters allow the white columns, cornice and trim to accentuate the simple, vertical orientation of the center porch.

✓ Simple, straightforward, but varied and well-detailed architecture provides visual interest and maintains residential scale and character.



✓ Porches, stoops and steps may project a maximum of 8'-0" into a required front yard setback.

✓ The recessed interior units shown at left provide for pleasing building massing and scale; the end footprints and their garages define intimate privacy areas which can extend into side yards, especially on corner lots.

YES Townhouses

- Min. Unit Width at Front Setback:** 18 ft.
- Min. Front Yard Setback:** 10 ft.
- Min. Side Yard Setback:** 5 ft. each side/10 ft. between exterior building walls
- Min. Rear Yard Setback:** 5 ft.
- Maximum Height:** 50 ft. to mean height of roof

Extensions & Projections

Porches, stoops and steps may project a maximum of 6'-0" into a required front yard setback. A second floor balcony may project a maximum of 6'-0" into a required front yard setback, provided it is located above a ground level porch with the same projection. Porches may project a maximum of 2'-0" into any required side yard setback, provided that any such projection shall be set back from the side lot line at least 3'-0". A second floor balcony may project a maximum of 2'-0" into a required side yard setback, provided it is located above a ground level porch with the same projection, and provided that any such projection shall be set back from the side lot line at least 3'-0".

Cornices, eaves, gutters, bay windows and chimneys may project a maximum of 2'-0" from an exterior building wall into any required yard setback, provided that any such projection shall be set back from the side lot line at least 3'-0".

Parking

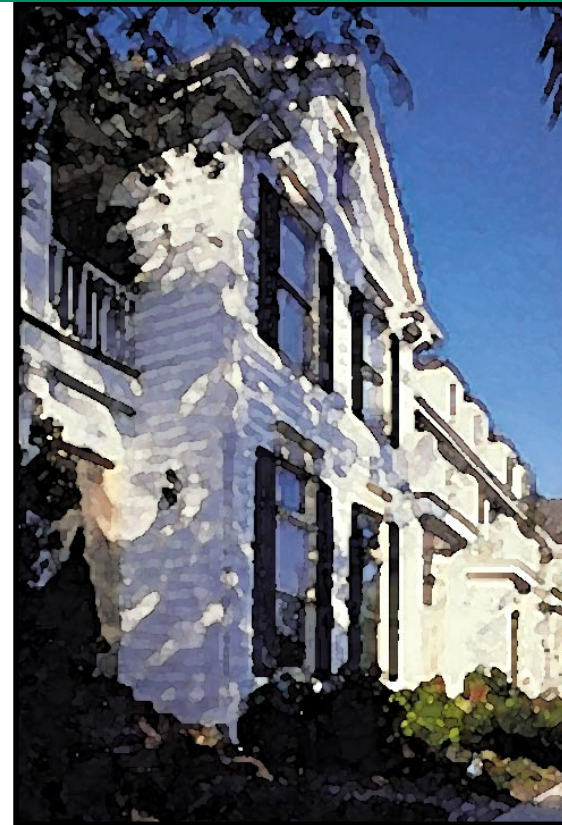
Two parking spaces per unit, plus one additional space for every five units, shall be provided either within a garage, driveway and/or on-street. Tandem parking behind a garage space shall be permitted toward meeting this requirement.

Variations

Yard setbacks may vary in accordance with Special Conditions set forth on sheets 20 and 21, and/or with Special Open Space Conditions set forth on sheet 22.

Setbacks may be increased from those shown on the final site plan at the discretion of the DRC, based upon the location of the lot, the streetscape, the size and type of home, garage orientation, exterior finish materials and similar considerations.

The maximum height requirements specified above may be waived by the DRC for the erection of building appurtenances such as chimneys, spires, turrets, cupolas, belfries and towers designed for ornamental purposes to articulate the design of a building, especially if appropriate to an historically-based style.



✓ Appropriate cornice return, eave over hang, vertically aligned windows, entry details and foundation plantings define a streetscape that feels wonderful to pedestrians.



✓ This inviting private patio is an example of the intimate outdoor spaces that can be defined between buildings and garages and enclosed by a fence or wall.

✗ Inappropriate



✗ The long unbroken roof and facade are monotonous. Windows and columns are incorrectly proportioned, and the entrance on the right is poorly defined.



✗ Blank brick walls, poorly defined entries and lack of design cohesion result in an unattractive building.



✗ These townhouse garages, with virtually no landscaping, out-of-scale curbs and exposed A/C compressors are completely inappropriate.

NO

✓ Appropriate



✓ Manor house buildings shall project a single family character as much as possible through scale, massing, entrance location, fenestration and details.

✓ Classically-inspired details such as window proportions and front entry detailing help this house successfully blend a gable into the facade composition.

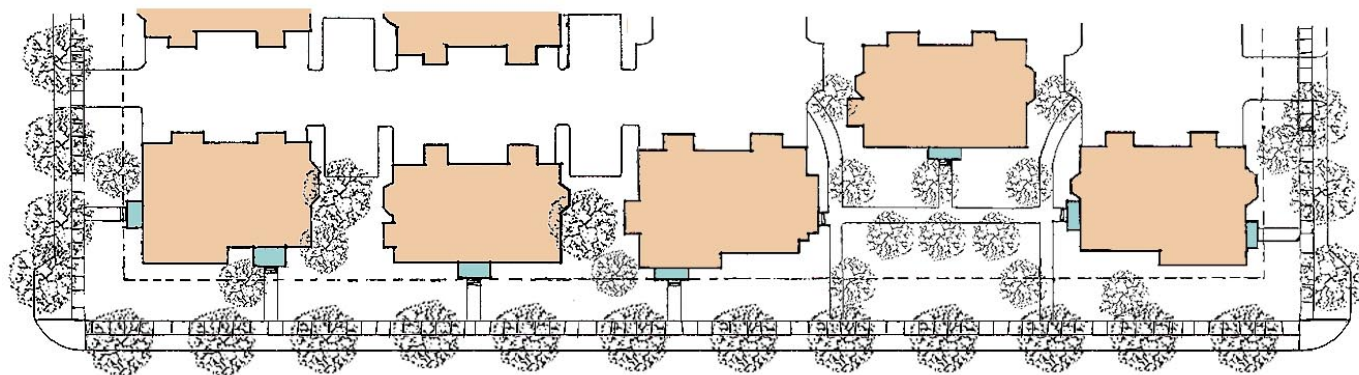
✓ Appropriate roof form, window and column proportions, projecting bay and architectural detailing result in an interesting and pleasant side elevation facing a street.



✓ Traditional, two-tiered columned porches combined with contemporary window massing creates an informal but grand effect.

✓ The scale and mass of this house resembles a large single-family home. Each unit is defined by an articulated entrance.

✓ Wrap-around porch projects into the front yard responding to both streets. Note how the corner treatment reflects a single-family character.



✓ The manor house entrances shown at left properly address the primary street. Streetscape and visual interest are provided by the single recessed house and gracious entrance court, while all parking is confined to the rear of the houses.

YES Manor Houses

- Min. Front Yard Setback:** 10 ft.
- Min. Side Yard Setback:** 5 ft. each side/10 ft. between exterior building walls
- Min. Rear Yard Setback:** 5 ft.
- Maximum Height:** 50 ft. to mean height of roof

Extensions & Projections

Porches, stoops and steps may project a maximum of 6'-0" into a required front yard setback. A second floor balcony may project a maximum of 6'-0" into a required front yard setback, provided it is located above a ground level porch with the same projection. Porches may project a maximum of 2'-0" into any required side yard setback, provided that any such projection shall be set back from the side lot line at least 3'-0". A second floor balcony may project a maximum of 2'-0" into a required side yard setback, provided it is located above a ground level porch with the same projection, and provided that any such projection shall be set back from the side lot line at least 3'-0".

Cornices, eaves, gutters, bay windows and chimneys may project a maximum of 2'-0" from an exterior building wall into any required yard setback, provided that any such projection shall be set back from the side lot line at least 3'-0".

Parking

Two parking spaces per unit, plus one additional space for every five units, shall be provided either within a garage, driveway and/or on-street. Tandem parking behind a garage space shall be permitted toward meeting this requirement.

Variations

Yard setbacks may vary in accordance with Special Conditions set forth on sheets 20 and 21, and/or with Special Open Space Conditions set forth on sheet 22.

Setbacks may be increased from those shown on the final site plan at the discretion of the DRC, based upon the location of the lot, the streetscape, the size and type of home, garage orientation, exterior finish materials and similar considerations.

The maximum height requirements specified above may be waived by the DRC for the erection of building appurtenances such as chimneys, spires, turrets, cupolas, belfries and towers designed for ornamental purposes to articulate the design of a building, especially if appropriate to an historically-based style.



✓ A formal, focal point is created by a progression of elements from decorative piers in front to the full facade porch and balustrades.



✓ Homes located along a front setback help establish a residential neighborhood streetscape character across the green.

✗ Inappropriate



✗ Although the first floor is appropriately raised above grade, and attractive landscaping is provided, this building lacks single-family character and scale.

✗ Confusing roof and gable forms, prominent, inappropriately located chimney, and poorly defined entrances result in these unsuccessful residences.

✗ The architectural massing, forms and detailing do not express single-family character and scale. The facade and entry do not respond to their prominent location terminating view.

✗ The awkward massing, exaggerated roof forms and overly repetitive gables are startling and visually disruptive.

NO

Special Conditions Lots

General

The special conditions lots illustrated on this sheet and described on sheets 20 and 21 are subject to change during the site planning process. The final site plan shall include setbacks and other information relating to special condition lots.

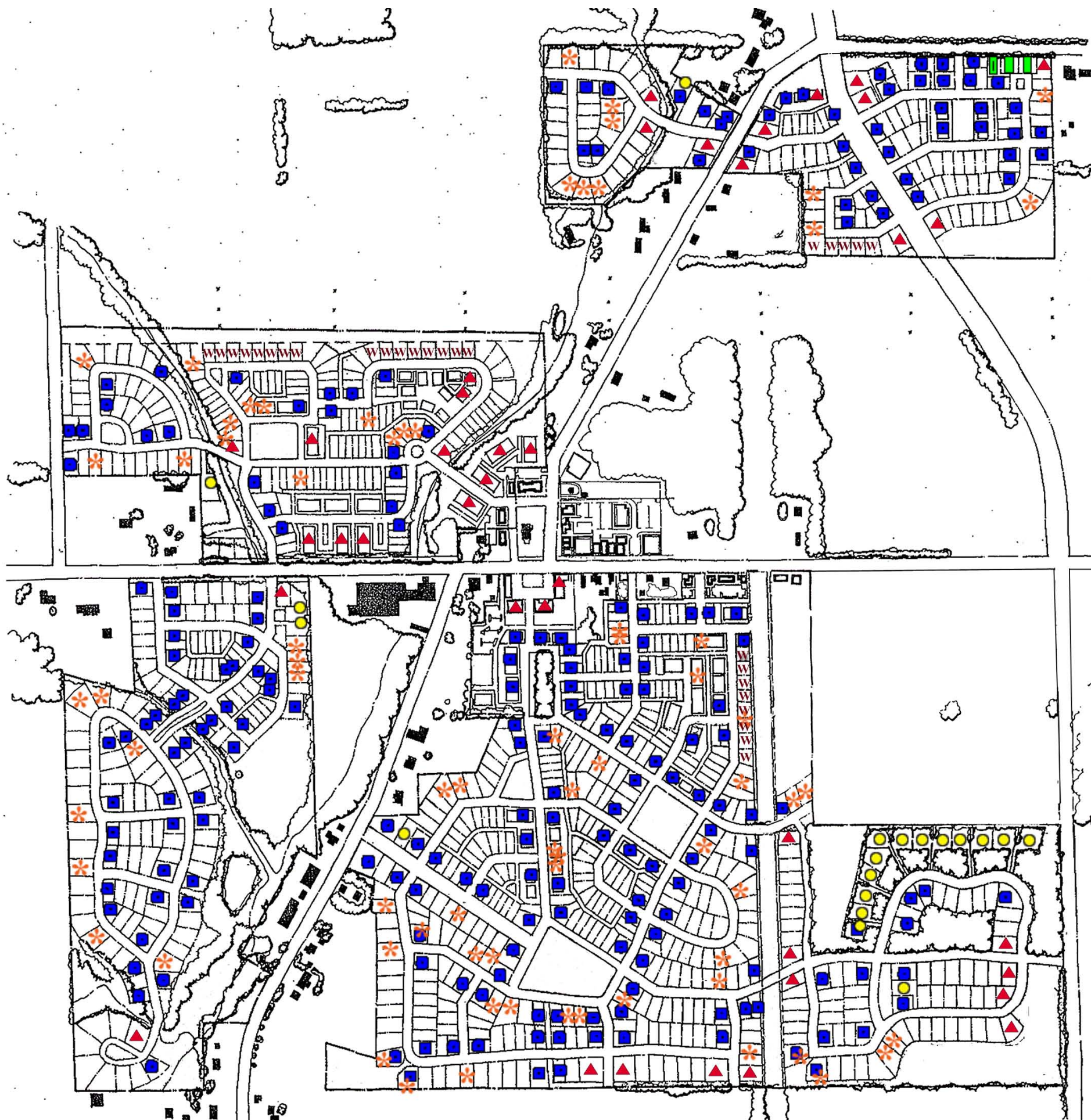
Corner & Multiple Frontage Buildings

Buildings with two or more facades visibly exposed to a street or common open space shall be specially designed to respond to these more prominent locations. Such buildings shall have special massing and/or other treatments on all exposed facades. All exposed facades shall be treated with the same architectural quality and detail. The primary orientation of such buildings for the purpose of establishing front entries shall be determined by the DRC.

Lots located at the corner of intersecting streets shall have front yard setbacks along both streets. Lots abutting alleys shall have side or rear yard setbacks along the alley, as applicable. Streets are deemed to include parkways.

Buildings Terminating Views

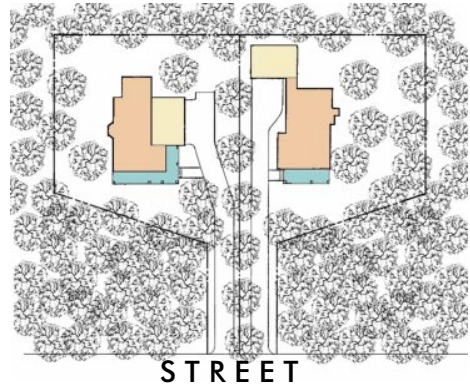
Buildings that are located at the termination of a view, vista, or axis shall be considered more significant structures, requiring special architectural responses.



LEGEND

-  2-Sided Corner Buildings
-  3-Sided Corner Buildings
-  Double Frontage Buildings
-  Buildings Terminating Views
-  Wide-Shallow Lots
-  Flag Lots

Flag Lots



These flag lots, and their long driveways, surrounded by woods, utilize the wooded setting to its fullest.



Long driveways through stands of mature trees enhance the rural character of these unique lot configurations.



Stands of mature trees surrounding houses provide for a unique and highly-valued setting.



The wooded stands with driveways through them provide these lots with greater privacy.

Courtyard Entry Lots

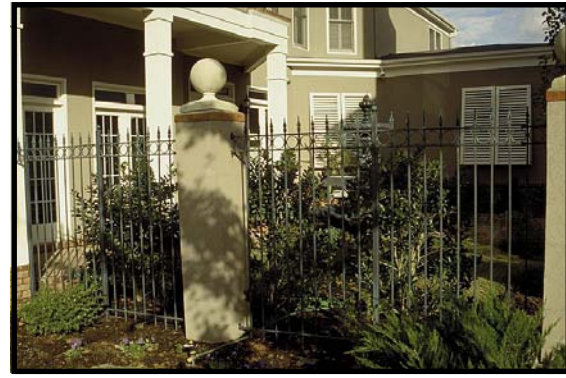


This garage with appropriately proportioned windows appears very much a part of the house.



This unique building configuration creates an enclosed courtyard. The home's front entry is not overpowered.

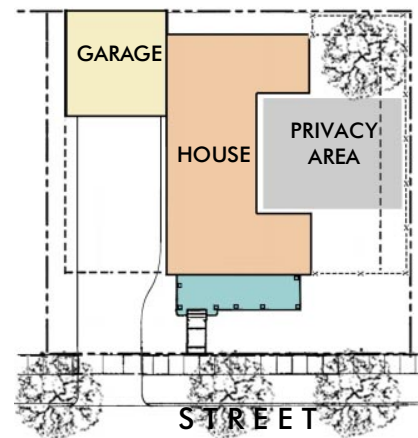
Wide-Shallow Lots



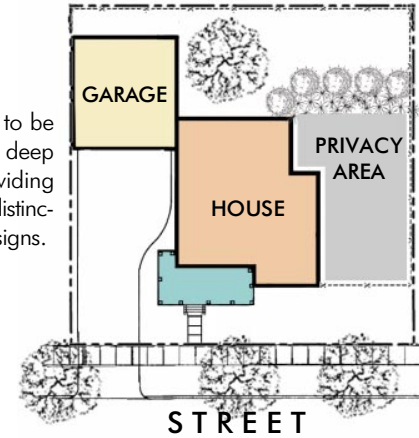
The wrap-around porch responds well to creating a side yard privacy area on a wide-shallow lot.



This semi-private fence maximizes the usable space in the side yard.



These lots tend to be almost equally deep and wide, providing opportunity for distinctive building designs.



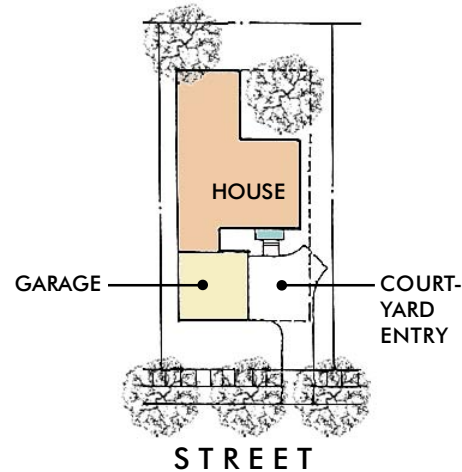
Accessory Dwellings



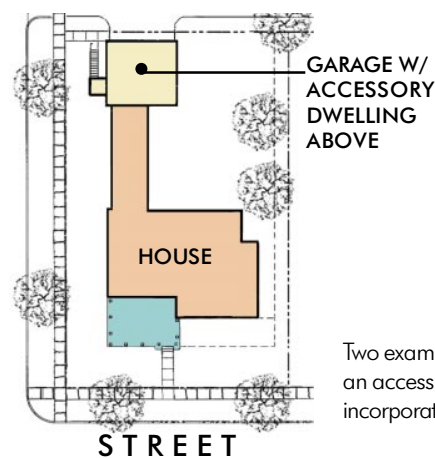
The architectural design and function of accessory dwellings should respond to the street when possible.



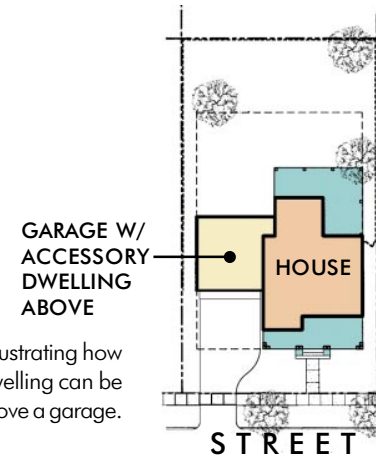
This garage with an accessory dwelling in the attic space is architecturally compatible with the primary building.



Although the garage is in front of the house, it is architecturally compatible with the house, and the visible front entry addresses the street.



Two examples illustrating how an accessory dwelling can be incorporated above a garage.



Special Conditions Lots

Flag Lots

A Cottage Lot, Village Lot or Estate Lot may be developed as a flag lot which is considered a special condition. Buildings on flag lots shall be oriented to take advantage of natural features and relate functionally and visually to adjacent common open space. Flag lots shall comply with the minimum lot area and side yard setbacks as required for Cottage, Village or Estate Lots respectively. A minimum 10'-0" setback for front and rear yard areas shall be provided for any flag lot. The minimum lot width at the street line for a flag lot shall be 14'-0". On flag lots, walkways shall not be required between buildings and the sidewalk, however, the DRC may require a walkway connection to a sidewalk or common open space in certain locations.

Wide-Shallow Lots

Village Lots may be configured as wide-shallow lots which is considered a special condition. Buildings on wide-shallow lots shall generally be oriented to create side yard privacy areas. Wide-shallow lots shall comply with the minimum lot area and yard setbacks as required for Village Lots, except that the garage or the garage portion of the structure may extend into a side or rear setback up to 0 ft. from a property line.

Courtyard Entry Lots

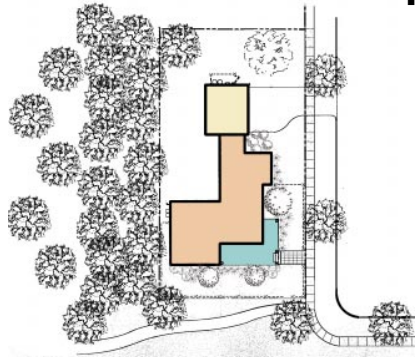
A Village or Estate Lot may be developed as a courtyard entry lot which shall be considered a special condition. Courtyard entry lots shall be permitted only where such location is determined by the DRC to be compatible with the streetscape of that block. Courtyard entry lots shall comply with the minimum lot area and yard setbacks as required for Village Lots or Estate lots respectively. The garage or the garage portion of the structure may extend forward of the face of the main body, provided the location, architectural design and detailing of such garage is compatible and complimentary to the main body of the building. The location of courtyard entry garages shall not visually obscure or overpower the front entry to the main body of the building. Design elements, such as windows, shutters, cupolas, carriage lamps, fences, walls, foundation plantings, special landscaping, colored/textured paving materials and other similar features shall be used to soften the appearance of courtyard garages and driveways from the street.

Accessory Dwellings

Up to 25% of the Cottage, Village and Estate Units are permitted to have an accessory dwelling which is considered to be a special condition. Accessory dwellings may not exceed 1,000 square feet of floor area and which shall not be considered a Unit for purposes of calculating density under this Agreement. The Purchaser or owner of a Cottage Lot, Village Lot, or an Estate Lot may make application to construct one accessory dwelling on such lot. Such accessory dwellings may be located within, attached to or detached from the principal dwelling unit and may have separate cooking and sanitary facilities and an independent means of access. Accessory units shall be carefully designed with regard to the location, number, size, and sill height of windows in order to minimize views toward neighboring windows and privacy areas on adjacent lots, as determined by the DRC.

Detached accessory dwellings shall maintain a secondary scale to the principal building on the same lot in terms of height, massing and other design elements. At its discretion, the DRC may require that a detached accessory dwelling to match the design, colors, materials and details of the principal building on the same lot.

Adjacent to a Common Open Space



This house demonstrates how to respond to a lot that is adjacent to different types of open space on two sides.



Buildings shall be oriented to relate functionally and visually toward open space and contribute to its spatial enclosure.



The white picket fence defines the open space edge, and the front porch and balcony reinforce the home's unique relationship to the open space.



Common open space within neighborhood blocks provides a different character from that of a more typical streets which also requires special architectural responses.

Backing to Common Open Space



Lots backing onto common open space have unique opportunities for privacy and views into wooded areas.



These special lots benefit from common wooded areas that blend into their rear yard.

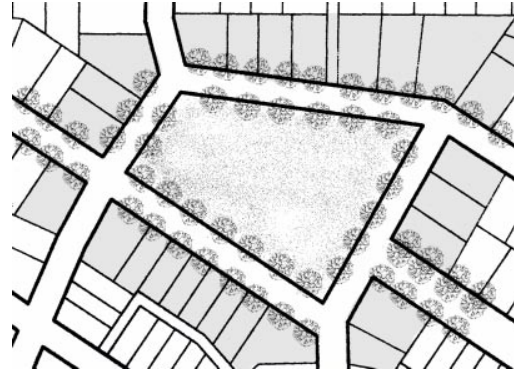


In some situations, lots backing to open space are enhanced by non-solid rear yard fencing that defines the property without blocking views.



This handsome rear porch and balcony facing a common open space give the impression of an expansive rear yard.

Facing Toward a Square or Park

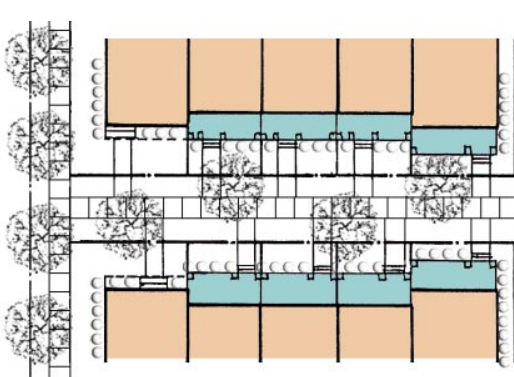


A town square or park may be spatially enclosed by homes aligned on a smaller front yard setback.



Homes with facades or porches close to the street orient residents nearer the open space and provide for a larger rear yard.

Fronting on a Pedestrian Courtyard



Courtyards provide a smaller and more intimate greenspace for Townhouse, Manor and Cottage type homes.



These homes are situated along a consistent setback near the sidewalk, which is reinforced by foundation plantings and front yard landscaping.



Buildings shall be oriented to relate functionally and visually toward open space and contribute to its spatial enclosure.



Homes located close to the street and open space provides a safe play area where parents can monitor the children's activities from home.

Special Open Space Conditions

Extensions and Projections

Front yard setbacks are reduced to 5'-0" for all buildings that front directly on a pedestrian courtyard or open space, or which front on a street that is adjacent to such courtyard or open space. Steps leading to a porch or stoop, but not the porch or stoop itself, are permitted into this 5'-0" front yard setback. Rear yard setbacks are reduced to 15'-0" for Estate Lots and 10'-0" for Village and Cottage Lots, where the entire rear lot line abuts a common open space. In no case, however, may a rear yard porch or deck be closer than 5'-0" to a rear lot line. The final site plan shall include setbacks and other information regarding special open space conditions.

Adjacent to a Common Open Space

The DRC may require buildings in such locations to be oriented so as to relate functionally and visually toward such open space, and to contribute to its spatial enclosure by surrounding buildings. The DRC may require a special fence, wall or landscape treatment along lot lines adjacent to a common open space.

Facing Toward a Square or Park

Buildings in such locations shall be oriented to relate functionally and visually toward such open space and contribute to its spatial enclosure by surrounding buildings. Buildings facing toward a square or park are encouraged to have front porches and/or balconies.

Fronting on a Pedestrian Courtyard

Buildings in such locations shall be oriented to relate functionally and visually toward such pedestrian courtyard, and to contribute to its spatial enclosure by surrounding buildings. Buildings fronting on a pedestrian courtyard are encouraged to have front porches and/or balconies. The DRC may require a special fence, wall or landscape treatment along lot lines fronting a pedestrian courtyard.

Backing to Common Open Space

Buildings in such locations shall be oriented to relate functionally and visually toward such open space. The DRC may require a special fence, wall or landscape treatment along all lot lines adjacent to a common open space or, in some instances, no treatment shall be permitted.



Courtyards provide activity spaces for surrounding and nearby residents.



These white picket fences help define front yards from the courtyard area. Notice the fences are set back 1'-6" from the sidewalk.

Schedule of Regulations

(a) The *Schedule of Regulations*⁽¹⁾ applicable to the Cherry Hill Village Planned Development is as follows:

<u>Unit Type</u>	<u>Min. Lot Area</u>	<u>Min. Lot Width @ Setback</u> ⁽²⁾	<u>Min. Front Yard Setback</u> ⁽³⁾	<u>Min. Side Yard Setback</u> ⁽³⁾	<u>Min. Bldg. Separation</u>	<u>Min. Rear Yard Setback</u>	<u>Max. Bldg. Height</u> ⁽⁴⁾	<u>Min. Floor Area with/with-out Basement</u>	<u>Max. Bldg. Length</u>	<u>Min. No. of Parking Spaces Provided</u>
<u>Estate</u>	7,500 sq. ft.	70 ft. ⁽⁵⁾	20 ft.	5 ft. one side, 16 ft. combined ⁽⁶⁾	N/A	25 ft. ⁽⁶⁾	40 ft.	2000	N/A	2 spaces within a garage ⁽⁷⁾
<u>Village</u>	5,000 sq. ft.	50 ft. ⁽⁸⁾	15 ft.	5 ft. one side, 12 ft. both sides ^{(9),(10)}	N/A	15 ft. ^{(9),(10)}	40 ft.	1600	N/A	2 spaces within a garage ⁽¹¹⁾
<u>Cottage</u>	3,000 sq. ft.	32 ft. ⁽¹²⁾	10 ft.	5 ft. one side ⁽¹³⁾	N/A	15 ft. ⁽¹³⁾	35 ft.	1200	N/A	2 spaces per Unit ⁽¹⁴⁾
<u>Townhouses</u>	N/A	18 ft.	10 ft.	5 ft. one side	10 ft. min. spacing between bldgs.	5 ft.	50 ft.	900	200 ft.	2 spaces per unit, plus one additional space for every 5 Townhouse Units ⁽¹⁵⁾
<u>Manor</u>	N/A	N/A	10 ft.	5 ft. one side	10 ft. min. spacing between bldgs.	5 ft.	50 ft.	700	100 ft.	2 spaces per unit, plus one additional space for every 5 Manor Units ⁽¹⁶⁾

FOOTNOTES TO SCHEDULE OF REGULATIONS

General Footnotes--All Unit Types

(1) Minimum yard setbacks, lot widths, and lot area for each Unit and building type in the Cherry Hill Village Planned Development are established by the Pattern Book and this Schedule of Regulations. In the event of conflict between this Schedule of Regulations and the Pattern Book, the Pattern Book shall control. In the event a matter regulated by the Land Development Ordinances is not covered by the Pattern Book or the Schedule of Regulations, the Land Development Ordinances shall control. The designation "N/A" means that the noted restriction and/or setback requirement does not apply to such Unit type. See *Pattern Book, sheets 20 through 21, for detailed information on Special Condition Lots.*

(2) The minimum lot width at setback is measured, for each Unit type and for all purposes, at the front yard setback line stated in the *Schedule of Regulations* without regard to any modification of front yard setbacks by the Township or the Design Review Committee as described in the Pattern Book. Lots located at the corners of intersecting streets shall have front yard setbacks along both streets. Lots abutting alleys shall have a side or rear yard setback along the alley, as applicable. Streets are deemed to include parkways.

(3) The mix of Unit types shown on the Approved Development Plan will result in lots with differing setbacks located on the same or opposite sides of the street within the same block. These differing setbacks, if built, could create a streetscape contrary to traditional neighborhood design principles. Accordingly, the Design Review Committee has the discretion to require yard setbacks for an entire block, or on individual lots, that are greater than the minimum requirements. The minimum yard setbacks may also be reduced at the site planning level based on the following criteria: (a) traditional neighborhood design planning principles; (b) street (right-of-way) width; (c) lot size and width; (d) sanitary sewer elevations; (e) symmetry of setbacks; (f) market needs; (g) aesthetics; (h) proximity of neighborhood parks or other common open space; and (i) topography. Notwithstanding the setback reductions provided elsewhere in this Schedule of Regulations, the Pattern Book, or this Agreement, setbacks are subject always to the following limitations on the locations of buildings (including all porches, steps, stoops, and other structural components) in relation to sanitary sewer lines: (-i-) If the sewer line is installed 10 feet or less below finished grade, then the building shall be located no closer than 10 feet to the centerline of the sewer; (-ii-) If the sewer line is installed more than 10 feet and less than 15 feet below finished grade, then the building shall be located no closer than 14 feet to the centerline of the sewer; and (-iii-) If the sewer line is installed 15 feet or more below finished grade, then the Township and CHVA shall work together to find a satisfactory resolution to the same while preserving a streetscape consistent with traditional neighborhood design principles. Storm sewers and water mains will be installed at the same minimum distance from buildings (including all porches, steps, stoops, and other structural components) that applies in other residential communities in the Township, and shall be installed and maintained in accordance with generally accepted engineering practices and principles.

Modifications of or encroachments into the stated setbacks required by the Schedule of Regulations are also allowed in the following circumstances:

Setbacks do not apply to decks, pavers, and similar improvements where they are constructed in a use easement between residential dwellings, and where all such improvements are limited to the use of one of the units. The depiction and scope of such easements shall be as described in the Deed Restrictions. The Deed Restrictions shall control for all purposes as it relates to use easements between residential dwellings.

For Cottage, Townhouse, and Manor Units, porches, stoops and steps may project a maximum of 6 feet into a required front yard setback. A second floor balcony may project a maximum of 6 feet into a required front yard setback, provided it is located above a ground level porch with the same projection.

For Estate and Village Units, porches, stoops and steps may project a maximum of 8 feet into a required front yard setback. A second floor balcony may project a maximum of 8 feet into a required front yard setback, provided it is located above a ground level porch with the same projection.

As to all but Estate Units, porches may project a maximum of 2 feet into any required side yard setback, provided that any such setback shall be setback from the side lot line at least 3 feet. A second floor balcony may project a maximum of 2 feet into the required side yard

setback provided it is located above a ground level porch with the same projection, and provided that any such projection shall be setback from the side lot line at least 3 feet.

A porch may also include a fully enclosed closet, not greater than 40 square feet in area, and to be accessed from the porch. Such closet shall be integrally designed with the architecture of the building.

Cornices, eaves, gutters, bay windows, so-called "boxouts", and chimneys may project a maximum of 2 feet from an exterior building wall into any required yard setback, provided that any such projection shall be setback from the side lot line at least 3 feet.

Front yard setbacks are reduced to 5 feet for all Units that front directly on a pedestrian courtyard or open space, or which front on a road that is adjacent to such courtyard or open space. Steps leading to a porch or stoop, but not the porch or stoop itself, are permitted in this 5 foot front yard setback. See *Pattern Book, Sheet 22, for detailed information on special open space conditions.*

(4) Maximum building height is measured to the average height of the roof, being the distance from the established grade to the average height between the eaves and the ridge for gable, hip and gambrel roofs. Maximum building height shall be measured solely by feet, not stories; height limitations of the Land Development Ordinances measured in stories do not apply in the Village.

Estate Unit Footnotes

(5) Estate Units may be developed as flag-shaped lots provided that for all such Units the minimum width at the right-of-way line and the front setback line shall be 14 feet. See *Pattern Book, sheet 21, for detailed information on flag-shaped lots.*

(6) Porches (both one and two stories) and decks may project a maximum of 10 feet into a required rear yard setback provided that any such deck or porch shall be setback from the rear lot line at least 5 feet. A garage or the garage portion of a structure (including ancillary areas such as mud rooms, laundry rooms, storage, hallways, and the like) may extend into a side or rear yard setback to within 5 feet of the property line, and such extension may include residential living space above the garage (including, but not limited to, an accessory dwelling). Such living space located above a garage extension shall be carefully designed with regard to the location, number, size, and sill height of windows in order to minimize views toward neighboring windows and privacy areas on adjacent lots, as determined by the Design Review Committee. The accessory dwelling shall have a 5-foot rear and/or side yard setback whether it is attached to (or located within) the principal dwelling Unit or located in a detached structure. Accessory dwellings are permitted as provided in, and subject to the limitations of, Paragraph 5 of the PD Agreement. Rear yard setbacks are reduced to 15 feet where the entire rear lot line abuts a common open space, but no deck or porch shall extend closer than 5 feet to the rear lot line. See *Pattern Book, Sheet 22, for detailed information on special open space conditions.*

(7) Each Estate Unit shall have a minimum of two parking spaces located within a garage. Front access garages shall be setback a minimum of 20 feet from the front property line and shall be recessed a minimum of 7 feet behind the front face of the main body of the building. Side entry garages are permitted so long as the face of any side entry garage door is setback a minimum of 23 feet from a side lot line and is recessed a minimum of 7 feet behind the front face of the main body of the building.

Village Unit Footnotes

(8) Village Units may be developed as flag-shaped lots provided that for all such Units the minimum width at the right-of-way line and the front setback line shall be 14 feet. See *Pattern Book, sheet 21, for detailed information on flag-shaped lots.*

(9) Village Units may also be developed as wide-shallow lots, in which case the rear yard setback and both side yard setbacks for the main body of the house shall be 5 feet, and the setback for the garage or garage portion of the Unit shall be 0 feet. See *Pattern Book, sheet 21, for detailed information on wide-shallow lots.*

(10) Porches (both one and two stories) and decks may project a maximum of 10 feet into a required rear yard setback provided that any such deck or porch shall be setback from the rear lot line at least 5 feet. A garage or the garage portion of a structure (including ancillary areas such as mud rooms, laundry rooms, storage, hallways, and the like) may extend

into a side or rear yard setback to within 5 feet of the property line, and such extension may include residential living space above the garage (including, but not limited to, an accessory dwelling). Such living space located above a garage extension shall be carefully designed with regard to the location, number, size, and sill height of windows in order to minimize views toward neighboring windows and privacy areas on adjacent lots, as determined by the Design Review Committee. The accessory dwelling shall have a 5-foot rear and/or side yard setback whether it is attached to (or located within) the principal dwelling Unit or located in a detached structure. Accessory dwellings are permitted as provided in, and subject to the limitations of, Paragraph 5 of the PD Agreement. Rear yard setbacks are reduced to 10 feet where the entire rear lot line abuts a common open space, but no deck or porch shall extend closer than 5 feet to the rear lot line. See *Pattern Book, Sheet 22, for detailed information on special open space conditions.*

(11) Each Village Unit shall have a minimum of two parking spaces located within a garage. Front access garages shall be setback a minimum of 20 feet from the front property line and shall be recessed a minimum of 7 feet behind the front face of the main body of the building. Side entry garages are permitted so long as the face of any side entry garage door is setback a minimum of 23 feet from a side lot line and is recessed a minimum of 7 feet behind the front face of the main body of the building.

Cottage Unit Footnotes

(12) Cottage Units may be developed as flag-shaped lots provided that for all such Units the minimum width at the right-of-way line and the front setback line shall be 14 feet. See *Pattern Book, sheet 21, for detailed information on flag-shaped lots.* No more than 25% of Cottage Units may have a lot width of less than 35 feet (measured at the 10-foot front yard setback line); all other Cottage Units shall have a lot width of equal to or greater than 35 feet (measured at the 10-foot front yard setback line).

(13) Porches (both one and two stories) and decks may project a maximum of 10 feet into a required rear yard setback provided that any such deck or porch shall be setback from the rear lot line at least 5 feet. A garage or the garage portion of a structure (including ancillary areas such as mud rooms, laundry rooms, storage, hallways, and the like) may extend into a side or rear yard setback to within 5 feet of the property line, and such extension may include residential living space above the garage (including, but not limited to, an accessory dwelling). Such living space located above a garage extension shall be carefully designed with regard to the location, number, size, and sill height of windows in order to minimize views toward neighboring windows and privacy areas on adjacent lots, as determined by the Design Review Committee. The accessory dwelling shall have a 5-foot rear and/or side yard setback whether it is attached to (or located within) the principal dwelling Unit or located in a detached structure. Accessory dwellings are permitted as provided in, and subject to the limitations of, Paragraph 5 of the PD Agreement. Rear yard setbacks are reduced to 10 feet where the entire rear lot line abuts a common open space, but no deck or porch shall extend closer than 5 feet to the rear lot line. See *Pattern Book, Sheet 22, for detailed information on special open space conditions.*

(14) Each Cottage Unit shall provide a minimum of two parking spaces, either within a garage, port cochere or driveway. Tandem parking behind a garage space or port cochere shall be permitted toward meeting this requirement. Front access garages shall be setback a minimum of 20 feet from the front property line and shall be recessed a minimum of 7 feet behind the front face of the main body of the building.

Townhouse Unit Footnotes

(15) Each Townhouse Unit shall have two parking spaces, at least one of which shall be in a garage, with the second space in a garage, on a driveway (tandem), or on the street. One additional parking space shall also be provided for every 5 additional Townhouse Units, whether in a garage, on a driveway (tandem) or on the street, or through a combination of such spaces.

Manor Unit Footnotes

(16) Each Manor Unit shall have two parking spaces, at least one of which shall be in a garage, with the second space in a garage, on a driveway (tandem), or on the street. One additional parking space shall also be provided for every 5 additional Manor Units, whether in a garage, on a driveway (tandem) or on the street, or through a combination of such spaces.